

# STAFF REPORT

## SAUSALITO PLANNING COMMISSION/HISTORIC LANDMARKS BOARD

**Project** Barrel House/660 Bridgeway  
Design Review Permit /Sign Permit  
DR/ SP 11-332

**Meeting Date** February 22, 2012

**Staff** Lilly Schinsing, Associate Planner 

### REQUESTS

Approval of modifications to a previously-approved **Design Review Permit** to allow for façade modifications, including modifications to the approved entry doors, extension of a second level outdoor deck, shifting of a rooftop mechanical screen, addition of a new skylight and revised exterior colors.

Approval of a **Sign Permit** to allow new business identification signage for the Barrel House restaurant.

### PROJECT INFORMATION

**Applicant** Chris Henry

**Property Owner** Chris Henry, William Henry, Wynona Henry

**Location/Size** 660 Bridgeway; APN 065-133-25;  
6,424 square feet (see **Exhibit A** for vicinity map)

**General Plan** Central Commercial

**Zoning** Central Commercial (CC) District  
Downtown Historic Overlay District

**Authority** A Design Review Permit is required for any exterior renovation, modification, or remodeling of any structure located within a City-designated historic district per Section 10.54.050.B.11 and Historic Design Review per Section 10.46.060 of the Zoning Ordinance.

A Sign Permit is required to allow a new sign and awning per Section 10.42.070 of the Zoning Ordinance.

**CEQA:** The restoration or rehabilitation or reconstruction of historic resources is Categorically Exempt from the California Environmental Quality Act (CEQA), in accordance with Section 15331 of the CEQA Guidelines. The project involves the rehabilitation and addition to a contributing building in the Downtown Historic Overlay District in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties, which qualifies the project for a Categorical Exemption. Additionally, the permitting of existing structures involving negligible or no expansion of use is Categorically Exempt from CEQA, in accordance with Section 15301 of the CEQA Guidelines.

### ROLE OF THE HISTORIC LANDMARKS BOARD AND PLANNING COMMISSION

The review involves a modification to a previously-approved Design Review Permit and a new Sign Permit for the exterior modifications proposed for the building. Since the project is located in the Downtown Historic Overlay Zoning District, the Design Review Permit is under the authority of both the Planning Commission and the Historic Landmarks Board (HLB), and a joint hearing is required to review and act upon the Design Review Permit. As stated in Section 10.46.060, both the Planning Commission and the HLB have the authority to review the Design Review Permit, and must favorably make the findings listed in Section 10.54.050.D to approve the Design Review Permit. As stated in Section 10.42.090.A, both the Planning Commission and the HLB have the authority to review the Sign Permit, and must favorably make the findings listed in Section 10.42.090.E to approve the Sign Permit.

### PROJECT DESCRIPTION

#### BACKGROUND

The Sausalito Land & Ferry Company real estate offices were constructed in 1902 at the subject site, and the upper floor was used for Sausalito's first public library (see **Exhibit E** for a photograph, circa 1910). The structure was later demolished and replaced by the Purity Market building in approximately 1935 (see **Exhibit E** for a photograph, circa 1969). In 1967 the City Council approved CUP No. 364 which allowed the conversion of the former Purity Market on the project site to a mixed-use commercial building. Six retail tenant spaces were approved for the first floor and a 60-seat restaurant was approved for the second floor. In 1968, the City Council entered into an agreement with the property owner of 660 Bridgeway to exchange private property to be converted to a public park for relief from providing 31 parking spaces to accommodate the increased parking requirement related to the mixed-commercial use project. In 1972, the City Council approved Variance No. 314 which relieved the property owner of a requirement to provide 12 on-site parking spaces to allow an increase in restaurant seats on the upper level from 60 to 108. In 1981, the building was remodeled to its current façade (see **Exhibit E** for a photograph, 2009). The upper story was occupied by the restaurant Houlihan's from 1980 until approximately 1998, and later occupied by the restaurant Water Street Bar and Grill until 2005. The second level has been vacant since that time. The lower story is occupied by a café and retail shops. In 2003 the Planning Commission approved Resolution No. 2003 – 26 which granted a variance for relief from 3 parking spaces for the lower level café.

The building is listed in the California State Office of Historic Preservation's *National Register Status Codes* as determined to be eligible for listing as a contributor building to the Downtown Historic District.

#### PROJECT HISTORY

On March 16, 2011 the Planning Commission and Historic Landmarks Board approved an application for a Design Review Permit for renovations associated by the establishment of a new use of the upper level of the building as a restaurant, bakery and bar (see **Exhibit G** for Planning Commission Resolution No. 2011-05).

#### PROJECT DESCRIPTION

The proposed project consists of the following as shown in the project plans (see **Exhibit C and Exhibit D**):

- ✓ Modify design of double entry doors on Bridgeway to a contemporary and geometric style. Doors to be fabricated out of bronze, metal and tempered glass.
- ✓ Extend entire second floor outdoor deck and metal trellis eastward by twelve inches for a total deck width of 7'-8". The deck and trellis finishes to remain as previously approved. This

request is for increased circulation on the deck. There will be no increase in seating on the outdoor deck.

- ✓ Redesign deck guardrail to glass panels with metal support posts throughout. This request is in order to increase in water visibility and light for restaurant patrons and deck users.
- ✓ Relocate south rooftop mechanical screen. The north/south leg to shift westward 6'-0" to accommodate new skylight. The length and finish to remain as previously approved.
- ✓ Revise the previously-approved exterior colors to complement the adjacent trees to the south and between the project site and existing plaza.
- ✓ Apply a cementitious skim coat on the rear or east facing arch and wall only and finish with a natural concrete color to match the Bridgeway facing arch. The front arch to remain as is with new paint finish. No work to be done on intermediate arches visible on barrel vault roof section.
- ✓ Replace all roofing to comply with current building and fire codes for commercial structure.
- ✓ Relocate the previously-approved fireplace to where the original fire pit existed on the axis with the centerline of barrel vault roof. No flue or venting will extend above the roofline as the fireplace will be fired by denatured alcohol.
- ✓ Install a 30"x 60" skylight above reception area at top of main entry stairs, to match three previously-approved skylights in finish, non-reflective glass and profile.
- ✓ Install one BCDC 'public shore' sign at east wall of lower level adjacent to boardwalk area and one public bench along east wall of building for public use.

### Signage

The proposed new signage would be located above the double entry doors at the southwest elevation, over the entrance to ground floor tenant spaces at the west elevation and over the flat roof fascia on the south elevation as referenced by the plans and as follows:

✓ Entry Door Signage:

Size: 3.75 square feet.

Color: The sign would be composed of a 24"x60" aluminum routed face in a dark bronze finish with 1/2" clear acrylic letters and seal logo faced with beige. The letters would be halo illuminated

Letter Size: The individual letters would be 3.75" tall and encompass an area of 3' 9" in length and 1' in height (including the seal logo)

Font: The font would be "Engraver's Gothic"

Illumination: The signs would be backlit with a "golden glow" halo effect on a dimmer

Material: The signs would be a dark bronze painted aluminum with push through acrylic letters and logo

Support: A cabinet will be custom created to be flush mounted to the doorway

✓ Wall Signage:

Size: 23.5 square feet.

Color: The sign would be composed of a satin bronze fabricated letters and logo

Letter Size: The individual letters would be one foot tall and encompass an area of 23.5' in length and 1' in height

Font: The font would be "Engraver's Gothic"

Illumination: No illumination proposed

Material: Satin Bronze 2" thick

Support: The letters are bolted to the base support rail. Support rail lag bolted into existing wood beams

✓ Roof Signage:

Size: 29.75 square feet.

Color: The sign would be composed of a satin bronze fabricated letters and logo

Letter Size: The individual letters would be 13.5' tall and encompass an area of 26.5' in length and 13.5" in height

Font: The font would be "Engraver's Gothic"

Illumination: Five floodlight style lights are proposed

Material: Satin Bronze 2" thick

Support: The letters are bolted to the base support rail. Support rail lag bolted into existing wood beams

The Historic Landmarks Board conducted study session reviews of the proposed project on November 30, 2011 and January 24, 2012 and recommended that the project be considered at a joint Planning Commission and Historic Landmarks Board meeting.

**PROJECT ANALYSIS**

**General Plan Consistency**

To approve the proposed project the Planning Commission and HLB must determine that the project is consistent with all applicable General Plan policies. The site is located in an area designated as Central

Commercial by the General Plan. The following policies and objective relevant to the project are as follows:

- ✓ *Policy LU-2.0 Promote and Enhance Commercial Economic Diversity. Promote and enhance economic viability of all commercial areas throughout the City, while continuing to recognize residential needs, by establishing distinct commercial districts that preserve the variety of uses serving residents and visitors.*
- ✓ *Policy LU-2.9. Downtown Historic Character: Protect the historical character of the Downtown area.*

The project consists of design elements, such as modifications to the approved entry doors, extension of a second level outdoor deck, shifting of a rooftop mechanical screen, addition of a new skylight and revised exterior colors, and new signage which will not alter any significant design characteristics or character defining features associated with building located in the Downtown Historic District. Therefore, staff suggests the project will neither significantly alter the appearance on the building, nor have an adverse impact on the historical character of the downtown area. Additionally, the project is designed to enhance the existing uses of the site as a retail/restaurant facility. Therefore the enhancement of the building will attract customers and promote the establishment's economic viability as a local business that serves local residents, visitors, and workers in Sausalito.

**Zoning Consistency**

The Project Summary Table below compares the development standards of the applicable zoning district to the proposed design. The table shows that the design conforms to the zoning standards and meets the minimum code requirements of the Zoning Ordinance and, with the approval of the appropriate permits, meets the allowable use requirements for the CC Zoning District.

**Project Summary Table**

Item	Existing	Required	Approved 3/16/11	Proposed 2/22/12	Compliance
Parcel Area:	6,424 sq. ft.	5,000 square feet	No change	No change	Yes
Land Use:	Vacant	Retail and service businesses	Restaurant and Bar with outdoor seating on private property	No change	Yes
Floor Area:	7,562 sq. ft (1.2 FAR)	8351 sf max (1.3 max FAR)	No Change	No Change	Yes
Height	25'-1"	32'	26'	No change	Yes
Building Coverage:	5,992 sq. ft.	6,424 sf max (100% max building coverage)	No Change	No Change <sup>1</sup>	Yes
Off-street Parking:	0 spaces	<b>Total Required Parking: 46 spaces</b>	0 spaces	No change	Yes <sup>2</sup>

<sup>1</sup> Deck extension covers area already counted as building coverage

<sup>2</sup> 46 total spaces grandfathered. 31 spaces granted in 1968 (Agreement); 12 spaces granted in 1972 (Variance No. 314); 3 spaces in 2003 under Planning Commission Resolution No. 2003-26)

Item	Existing	Required	Approved 3/16/11	Proposed 2/22/12	Compliance
		Upper level restaurant (108 seats at 1 space for every 4 seats)= 27 spaces  Lower level (Retail, 1 space per every 250 square feet): Suite 1 (1,230 sf)= 5 spaces Suite 2 (1,000 sf)= 4 spaces Suite 3 (332 sf) =1 space Suite 4 (446 sf)= 2 spaces Subtotal= 12 spaces  Downstairs Café (28 seats at 1 space for every 4 seats)= 7 spaces			

**Historic Overlay Zoning District Consistency**

To approve the proposed project, the Planning Commission and HLB must determine that the project is consistent with all applicable Historic Overlay District regulations. Staff concludes that the project is consistent with the purpose and intent of the Downtown Historic Overlay Zoning District (Section 10.28.040.A) as described in the findings listed in the draft Resolution (see **Exhibit A**).

**Design Review Permit**

As stated previously, the Planning Commission and Historic Landmarks Board have previously approved a Design Review Permit (Resolution No. 2011-05) allowing the rehabilitation of the existing building at 660 Bridgeway in conjunction with the establishment of a new use as a restaurant, bakery and bar. The prior Design Review Permit continues to be valid provided the Conditions of Approval are met.

The project applicant is requesting the modification of the design of double entry doors on Bridgeway to a contemporary and geometric style, the extension of the entire second floor outdoor deck and metal trellis eastward by twelve inches, the redesign deck guardrail to glass panels with metal support posts throughout, the relocation of the south rooftop mechanical screen, a new exterior color palette, a different treatment procedure for the rear facing arch, replacement of all roofing, relocation of the fireplace and installation of 30"x 60" skylight.

*Extension of the Dining Deck.*

The applicant is requesting a one-foot extension of the second level dining deck in order to facilitate circulation on the deck. The original proposal was to extend the deck by two feet six inches, however, in conversations with the Bay Conservation and Development Commission (BCDC) there were concerns raised regarding the impact of the deck extension on the public access area below the dining deck. BCDC has agreed to allow a one-foot extension of the dining deck with the following requirements:

- a. A bench for public seating be installed at the owner's expense on the lower level in the required BCDC public access area; and
- b. A BCDC Public Shore sign be posted at the entry to required BCDC public access area in a clearly visible location (see the correspondence from BCDC in **Exhibit E**).

Staff is in support of the one foot deck extension and the conditions of approval BCDC suggested. Conditions regarding the installation of the bench and sign have been added to the draft resolution.

In order to approve or conditionally approve the modified Design Review Permit, the Planning Commission and HLB must determine that the project is in conformance with the findings listed in Section 10.54.050 (Design Review Findings) of the Zoning Ordinance, which includes the Historic Design Guidelines.

The following policies of the Historic Design Guidelines are relevant to the project:

- ✓ Additions to Commercial Properties, Policies 2.11, 2.12 and 2.13 (Page 16)
- ✓ Paint, Policies 2.52 and 2.53 (Page 32)

The Historic Design Guidelines provides guidance to ensure that changes to the Downtown Historic Overlay Zoning District's built environment will be sensitive to the community's historical legacy. Upon review of the Historic Design Guidelines relative to the project, the project is consistent with the Additions to Commercial Properties and Paint policies.

Staff concludes the project is generally consistent with the requisite findings for the Design Review Permit can be made to approve the permit, as summarized in the following and in the findings listed in the draft Resolution (**Exhibit B**).

### **Sign Permit**

Upon review of the Sign Regulations, the proposed west and southwest elevation signs meet the definition of a "Wall Sign," which are "a single-faced sign painted on or attached to a building or wall, no part of which extends out from or above a wall more than twelve inches." The south sign meets the definition of a "Roof Sign," which is "any sign located on or above the roof elements of a building. In the Historic Overlay Zoning District, signs are also required to comply with Section 10.42.070 (Sign Standards in the Historic Overlay District and for Properties Listed on the Local Register.

Pursuant to Section 10.42.070, signs are strongly discouraged which are considered incompatible with the Historic Overlay District, which adversely affect the health, safety and/or general welfare of the community, or which might create confusion to the public or to public safety officials responding to community emergencies. In addition, the following sign types are strongly discouraged in the Historic Overlay District and on structures listed on the local register:

1. *Banner signs (see exception under subsection (P) (Temporary Signs);*
2. *Neon signs;*
3. *Roof signs;*
4. *Interior illuminated signs;*
5. *Freestanding signs;*
6. *Electronic and reader board signs;*
7. *A-frame signs;*
8. *Changeable letter signs;*
9. *Flashing, illuminated, phosphorescent signs;*
10. *Signs incorporating lights or movement as viewed from the public right-of-way or from any area open to the public;*
11. *Off-premise signs;*

- 12. Floating signs; and
- 13. Signs containing glossy finish.

Specifically, roof signs and interior illuminated signs are strongly discouraged in the Historic District. However, staff is in support of the roof sign and the southeastern halo sign. Due to the unique roof shape, position of the building on the parcel and orientation of the roadway, there are limited locations for appropriate adequate signage along the southern building façade to attract both motorists and pedestrians. Staff finds that the roof sign would not adversely affect the health, safety and/or general welfare of the community, or might create confusion to the public or to public safety officials responding to community emergencies. Similarly, the soft halo effect of the internally illuminated southeastern sign would not adversely affect the general welfare of the community, or has the abilities to create confusion. Therefore, staff is in support of the roof sign, the southeastern internally lit wall sign and the eastern wall sign.

The required standards and how each sign meets the required standards are listed below:

Standard		East Wall Sign (Sign A)	Roof Sign (Sign B)	Southeast Wall Sign (Sign C)
Sign and Awning Standards (10.42.060)	L. Upper level business. The maximum sign area allowed for an upper level business or office, or portion thereof, shall be no greater than six (6) square feet unless otherwise authorized by a sign program or conditions which apply specifically to that development. Only one sign may be displayed for a business or office located entirely on an upper level and shall be located at the exterior entrance of the building unless its size or location is otherwise established as a part of a sign program approved by the Planning Commission, Historic Landmarks Board, or City Council.	23.5 square feet; exceeds regulations however, may be allowed as a part of a sign program	29.75 square feet; exceeds regulations however, may be allowed as a part of a sign program	3.75 square feet; exceeds regulations however, may be allowed as a part of a sign program
Regulations	Total number of signs shall be at the discretion of the Planning Commission and Historic Landmarks Board.	At the discretion of the Planning Commission and Historic Landmarks Board		
General (10.42.070)	Commercial signage should be limited to 0.5 square feet of signage per lineal foot of street frontage. Exceptions may be granted for narrow buildings.	The building at 660 Bridgeway has a street frontage of 127 feet, allowing for a maximum signage allowance of 63.5 square feet. The total requested signage is 57 square feet.		

Standard	East Wall Sign (Sign A)	Roof Sign (Sign B)	Southeast Wall Sign (Sign C)
Materials should be appropriate to historic nature of the district and may include carved wood signs and individual cast or cut metal letters.	Individual cast metal letters	Individual cast metal letters	Acrylic on metal surface
All signs should be of high quality workmanship, with clean and finished edges and materials.	Materials are of high quality workmanship		
Colors should be appropriate to the historic district and relative to the location, size and context of the structure, business, or site.	Rich bronze color is appropriate to the downtown district and the context of the business as a restaurant		
Lighting should be unobtrusive and controlled by dimmers	No lighting	Lighting does not comply; see discussion below	Halo lighting on dimmer
Upper floor signage should be limited to six (6) square feet. Upper floor signage may include projecting signs at ground floor level entries, projecting signs at upper floor window level, or lettering applied directly to upper floor windows. Upper floor signage should be generally smaller than signage for ground floor tenants.	The word "should" indicates a guideline, not a specific regulation. Staff asserts that due to the large size of the building, the excess square footage is appropriate for the building in order to provide adequate business identification. The plans indicate that the signs will not overwhelm the building and Staff supports the approval of the signs as proposed		
The use of historical sign precedents that are generally within the parameters of these guidelines shall be encouraged where appropriate to the building and location	n/a	n/a	n/a
Any sign shall be installed in a manner to minimize damage or degradation to historic buildings, consistent with the Secretary of the Interior Standards.	Sign will be installed in a manner to minimize damage or degradation to historic building		

Standard	East Wall Sign (Sign A)	Roof Sign (Sign B)	Southeast Wall Sign (Sign C)
Signs should identify building or major tenant's name only.	Signs identify the "Barrel House" only		
Wall signs should not be painted directly to wall surfaces unless the Historic Landmarks Board finds they are of historic significance.	Signs are not painted to wall surfaces		
Signs should consist of individual solid metal, wood, stone or glass letters, or flush-mounted carved, routed or sandblasted wood plaques.	The sign would be individual solid metal letters	The sign would be individual solid metal letters	The sign would be composed of a 24"x60" aluminum routed face in a dark bronze finish with 1/2" clear acrylic letters
Signable area (defined by Section 10.42.030, Sign Definitions) should not exceed 15% of the business façade	The sign area is 2.3% of the business facade	The sign area is 8.7% of the business facade	The sign area is 2% of the business façade
<p>Wall Sign Regulations (10.42.070.G)</p> <p>Wall signs should be limited in size, as follows:</p> <p>a. Individual letter size: 12". If all capital letters used: 8"</p> <p>b. Total signage area: 40% of signable area</p> <p>c. Length of signage: 75% of signable area width. For single tenant in multitenant building: 2/3 of individual tenant storefront.</p>	<p>a. Individual capital letters 12" tall. Staff asserts that due to the large size of the building, the larger letters are appropriate for the building in order to provide adequate business identification. The plans indicate that the signs will not overwhelm the building and Staff supports the approval of the signs as proposed.</p> <p>b. There is no signable area as the entire surface is broken up by glass</p> <p>c. Sign is no more than 2/3 tenant storefront</p>	<p>a. Individual capital letters 13.5" tall. Staff asserts that due to the large size of the building, the larger letters are appropriate for the building in order to provide adequate business identification. The plans indicate that the signs will not overwhelm the building and Staff supports the approval of the signs as proposed.</p> <p>b. There is no signable area as this is a roof sign</p> <p>c. Sign is no more than 2/3 tenant storefront</p>	<p>a. Individual capital letters 3.75" tall</p> <p>b. Total signage area is 37% of the signable area</p> <p>c. Sign is no more than 2/3 tenant storefront</p>

### *Flood Lights*

Staff has concerns regarding the lighting proposed for the roof sign. Up-lit flood light style signs are not appropriate for the Downtown Historic District. Staff has included a condition of approval which would require that the lights be down-lit and subject to the Community Development Director's approval.

## **PUBLIC NOTICE AND CORRESPONDENCE**

On February 9, 2012 public hearing notices were mailed to all property owners and occupants within 300 feet of the project site. As of the writing of the staff report, the City has not received any comments.

## **RECOMMENDATION**

Staff recommends the Planning Commission and Historic Landmarks Board approve the attached draft resolution (**Exhibit B**) approving a Design Review Permit for façade modifications, including modifications to the approved entry doors, extension of a second level outdoor deck, shifting of a rooftop mechanical screen, addition of a new skylight and revised exterior colors, and a Sign Permit to allow new business identification signage for the Barrel House restaurant.

Alternatively, the Planning Commission and Historic Landmarks Board may:

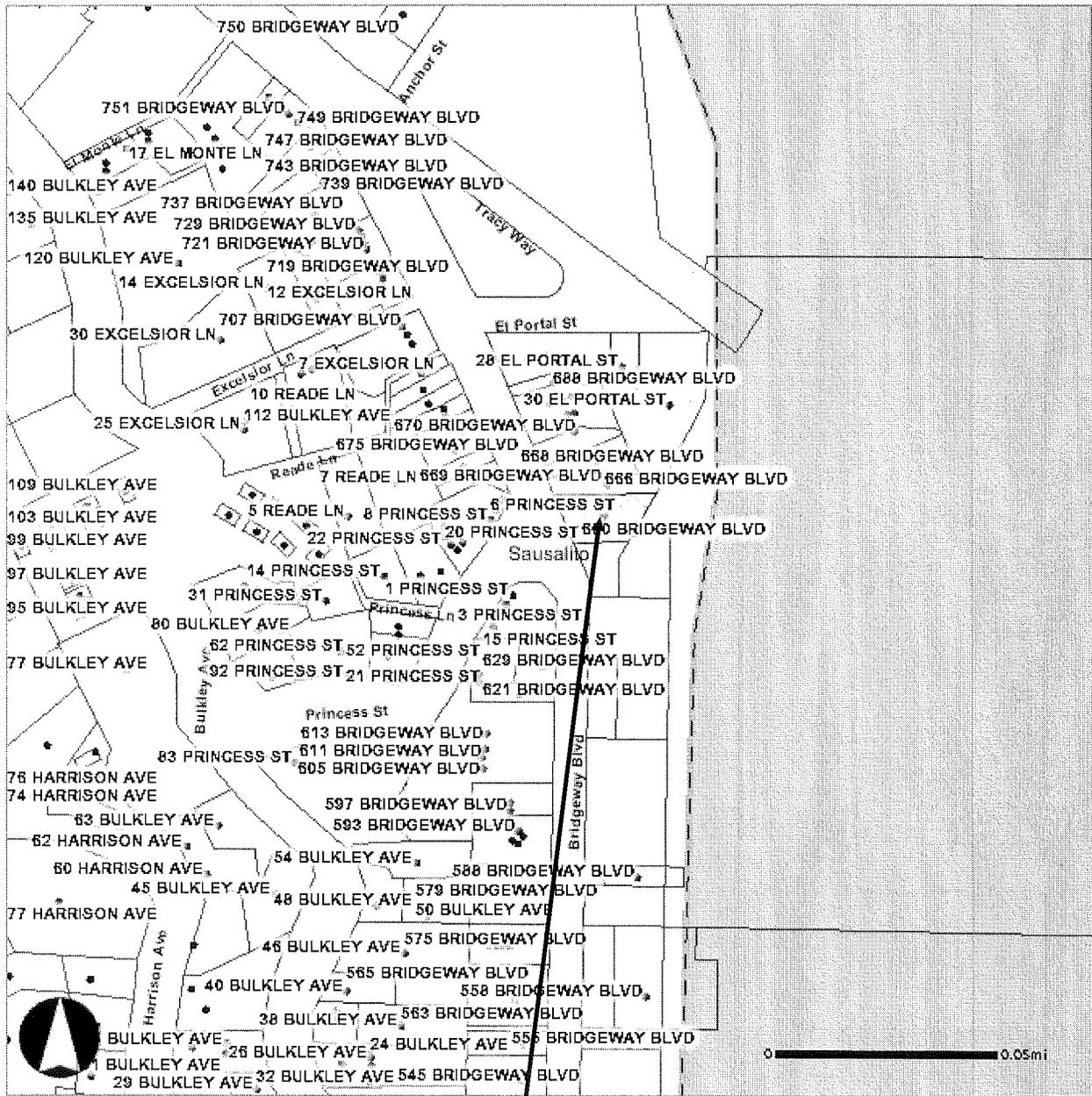
- Continue the hearing for additional information and/or project revisions; or
- Direct staff to prepare a resolution for denial of the Design Review Permit and/or Sign Permit.

## **EXHIBITS**

- A. Vicinity Map
- B. Draft Resolution
- C. Project Plans, date stamped February 14, 2012
- D. Sign Plans, date stamped January 11, 2012
- E. Email from Ellen Miramontes, Bay Design Analyst, BCDC, date stamped received February 9, 2012
- F. Historic Photographs
- G. Planning Commission and Historic Landmarks Board Resolution 2011-05
- H. Applicant's Project Description Letter, date stamped February 15, 2012

BLANK

# VICINITY MAP



660 Bridgeway

EXHIBIT A  
(1 PAGE)

BLANK

**SAUSALITO PLANNING COMMISSION AND HISTORIC LANDMARKS BOARD  
RESOLUTION NO. 2012-XX**

**RESOLUTION APPROVING MODIFICATIONS TO A DESIGN REVIEW PERMIT AND  
A SIGN PERMIT FOR BUSINESS IDENTIFICATION SIGNAGE AT A COMMERCIAL  
BUILDING LOCATED AT 660 BRIDGEWAY  
DR/ SP 11-332**

---

**WHEREAS**, the Planning Commission and the Historic Landmarks Board adopted Resolution No. 2011-05 on March 16, 2011 approving a Design Review Permit (DR 10-384) for the rehabilitation of the existing building at 660 Bridgeway in conjunction with the establishment of a new use as a restaurant, bakery and bar; and

**WHEREAS**, an application has been filed by applicant Eduard Llorca, on behalf of the property owner Chris Henry, William Henry and Wynona Henry requesting Planning Commission and Historic Landmarks Board approval of modifications to the previously-approved Design Review Permit to allow for façade modifications, including modifications to the approved entry doors, extension of a second level outdoor deck, shifting of a rooftop mechanical screen, addition of a new skylight and revised exterior colors and a Sign Permit for new business identification signage for the Barrel House restaurant at 660 Bridgeway (APN 065-133-25);

**WHEREAS**, the project site is located within the Central Commercial General Plan Land Use Designation, Central Commercial Zoning District, and Downtown Historic Overlay Zoning District; and

**WHEREAS**, the Planning Commission and the Historic Landmarks Board conducted a duly-noticed public hearing on February 22, 2012 at which time all interested persons were given an opportunity to be heard; and

**WHEREAS**, the Planning Commission and the Historic Landmarks Board have reviewed and considered the information contained in the staff reports as well as any and all oral and written testimony on the proposed project; and

**WHEREAS**, the Planning Commission and the Historic Landmarks Board have reviewed and considered the project plans titled "New Restaurant|Bar" and date-stamped February 14, 2012 and the sign plans titled "Barrel House" and date stamped January 11, 2012; and

**WHEREAS**, the Planning Commission and the Historic Landmarks Board find that the proposed project, as conditioned herein, is consistent with the General Plan and complies with the requirements of the Zoning Ordinance as described in the staff report; and

**WHEREAS**, approval of the project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301, Existing Facilities, which allows for minor alterations to an existing building and Section 15331, Historic Resource Restoration/Rehabilitation, which allows for the rehabilitation and addition to a contributing building in the Downtown Historic Overlay District in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

**EXHIBIT B**  
(12 PAGES)

**NOW, THEREFORE, THE PLANNING COMMISSION AND HISTORIC LANDMARKS BOARD  
HEREBY RESOLVE AS FOLLOWS:**

1. The project is exempt from the requirements of CEQA pursuant to CEQA Guidelines Section 15301, Existing Facilities and Section 15331, Historic Resource Restoration/Rehabilitation.
2. Modifications to Design Review Permit DR 10-384 for modifications to a previously-approved Design Review Permit to allow for façade modifications, including modifications to the approved entry doors, extension of a second level outdoor deck, shifting of a rooftop mechanical screen, addition of a new skylight and revised exterior colors is approved based upon the findings provided in Attachment 1, and subject to the conditions of approval provided in Attachment 2. The project plans, "New Restaurant|Bar" and date-stamped February 14, 2012", which supersede the plans titled "New Restaurant/Bar", date-stamped received March 7, 2011, are provided in Attachment 3.
3. A Sign Permit for business identification signage is approved based upon the findings provided in Attachment 1, and subject to the conditions of approval provided in Attachment 2. The project plans are provided in Attachment 3.

**RESOLUTION PASSED AND ADOPTED**, at the regular meeting of the Planning Commission and Historic Landmarks Board on the \_\_\_day of \_\_\_\_\_, 2012, by the following vote:

AYES:  
NOES:  
ABSENT:  
ABSTAIN:

---

Jeremy Graves, AICP  
Secretary to the Planning Commission

AYES:  
NOES:  
ABSENT:  
ABSTAIN:

---

Vicki Nichols  
Secretary to the Historic Landmarks Board

**Attachments:**

- 1- Findings
- 2- Conditions of Approval
- 3- Project plans entitled "New Restaurant|Bar" and date-stamped February 14, 2012"

I:\CDD\PROJECTS - ADDRESS\B\Bridgeway 660\DR 10-384\2012 Modifications\pcreso 2-22-12.doc

**PLANNING COMMISSION and HISTORIC LANDMARKS RESOLUTION  
FEBRUARY 22, 2012  
DR/ SP 11-332  
660 BRIDGEWAY**

**ATTACHMENT 1: FINDINGS**

**1. DESIGN REVIEW PERMIT FINDINGS**

In accordance with Zoning Ordinance Section 10.54 (Design Review Procedures), the Design Review Permit is approved based on the following findings:

- A) The proposed project is consistent with the General Plan, any applicable specific plans and this chapter.

*The project is consistent with General Plan policies and purposes of the Central Commercial Zoning District, including those related to maintaining the historic character of the downtown, enhancing economic diversity, and maintaining the integrity of historic structures. Additionally, the project is consistent with the Historic Design Guidelines, specifically, Policies 2.11, 2.12, 2.13, 2.52 and 2.53.*

- B) The proposed architecture and site design complements the surrounding neighborhood and/or district by either: a) Maintaining the prevailing design character of the neighborhood and/or district or b) Introducing a distinctive and creative solution which takes advantage of the unique characteristics of the site and contributes to the design diversity of Sausalito.

*The project will enhance the existing building by rehabilitating the structure. No new substantial design changes are proposed.*

- C) The proposed project is consistent with the general scale of structures and buildings in the surrounding neighborhood and/or district.

*The project will rehabilitate the existing structure. The proposed improvements to the structure will not alter the scale of the existing building, which are historically representative of the scale of Downtown structures.*

- D) The proposed project has been located and designed to minimize obstruction of public views and primary views from private property.

*The project will rehabilitate the structure in conjunction with a new restaurant. The relocation, consolidation and minimization of rooftop equipment associated with the restaurant operation has been located and designed to minimize both obstruction of public and private views.*

- E) The proposed project will not result in a prominent building profile (silhouette) above a ridgeline.

*The proposed project is not located on a ridgeline to create such impacts.*

- F) The proposed landscaping provides appropriate visual relief, complements the buildings and structures on the site, and provides an attractive environment for the enjoyment of the public.

*This project does not propose any additional landscaping, and therefore this finding is not applicable.*

- G) The design and location of buildings provide adequate light and air for the project site, adjacent properties, and the general public.

*The structure was originally constructed in 1935 and modified in 1981. The rehabilitation will repair the existing facilities and not create a change in scale or mass and therefore, the project will have no impact on the light and air for the project site, adjacent properties, and the general public.*

- H) Exterior lighting, mechanical equipment, and chimneys are appropriately designed and located to minimize visual, noise and air quality impacts to adjacent properties and the general public.

*The proposed project will reuse existing exterior lighting fixtures. The relocation, consolidation and minimization of rooftop equipment associated with the restaurant operation has been designed to minimize visual, noise and air quality impacts to adjacent properties and the general public.*

- I) The project provides a reasonable level of privacy to the site and adjacent properties, taking into consideration the density of the neighborhood, by appropriate landscaping, fencing, and window deck and patio configurations.

*The structure was originally constructed in 1935 and modified in 1981. The rehabilitation will repair the existing facilities and not create a change in scale or mass. Therefore, the project will have no impact on privacy.*

- J) Proposed entrances, exits, internal circulation, and parking spaces are configured to provide an appropriate level of traffic safety and ease of movement.

*There will be no alteration to the existing proposed entrances, exits, internal circulation or parking spaces, and therefore no change in the level of traffic safety and ease of movement.*

- K) The proposed design preserves protected trees and significant natural features on the site to a reasonable extent and minimizes site degradation from construction activities and other potential impacts.

*The proposed project does not impact existing natural features on the site.*

- L) The project site is consistent with the guidelines for heightened review for projects which exceed 80% of the maximum allowed Floor Area Ratio and/or site coverage, as specified in subsection E (Heightened [Design] Review Findings).

*The project is not subject to Heightened [Design] Review Requirements and no addition of building coverage or floor area is proposed.*

## **2. HISTORIC OVERLAY DISTRICT FINDINGS**

In accordance with the Sausalito Zoning Ordinance Section 10.46 (Historic Overlay District), the Planning Commission and Historic Landmarks Board find:

- A) The proposed new construction or alteration is compatible with the architectural and historical features of the structure and/or district.

*The project proposes the rehabilitation of the existing structure in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.*

- B) The historical context of the original structure or district has been considered during the development and review of the proposal.

*The historical context of the original structure was considered during Historic Landmarks Board study sessions. The rehabilitation project was found to not impact the original structure. The project proposes the rehabilitation of the existing structure in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.*

- C) The criteria for listing the structure or site on the local register does not apply, or the Historic overlay district will not be affected by the new construction or alterations.

*The modifications will not affect the Historic Overlay District.*

- D) The State Historic Building Code is being applied to minimize alterations to the original historic structure.

*The State Historic Building Code will be applied to this rehabilitation project to minimize alterations to the original historic structure.*

- E) The Secretary of Interior Standards for Treatment of Historic Properties have been used to review and consider the new construction and proposed alterations.

*The project proposes the rehabilitation of the existing structure in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.*

- F) Alternative uses and configurations have been considered as part of the Design Review process.

*Alternative configurations for the rooftop configuration were proposed and considered during Historic Landmarks Board study sessions. The design of the project was revised to respond to the Historic Landmarks Board comments.*

- G) Findings specified by Chapter 10.54 (Design Review Procedures) can be made.

*The Design Review Findings can be favorably made, as discussed in the findings above.*

H) The proposed new construction or alteration will be compatible with and help achieve the purposes of the Historic Overlay District (Chapter 10.28.040.A).

*The rehabilitation will be compatible with the purposes of the Historic Overlay District, as described below.*

- To promote the conservation, preservation, and enhancement of the historic or architecturally significant structures and sites that form an important link to Sausalito's past;

*The proposed improvements include the in-kind replacement and new exterior work of a contributing building in the Downtown Historic District. The original structure will not be altered and the concrete arches which are characteristic of the Purity Market will remain.*

- To deter demolition, destruction, alteration, misuse or neglect of historic or architecturally significant buildings;

*The project rehabilitates and existing contributing building in the Downtown Historic District to accommodate a new use in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties. The project minimizes impacts to the existing structure.*

- To stimulate the economic health and quality of the community and stabilize and enhance the value of property;

*The project's repairs will enhance the aesthetics of the structures thereby contributing to the value of the property.*

- To encourage development tailored to the character and significance of the historic district through sign and design review standards;

*This project requires a design review permit, approved by the Planning Commission and Historic Landmarks Board. In addition, any sign permits must comply with the requirements for signs in the Historic Overlay District in accordance with Section 10.42.070 of the Zoning Ordinance.*

- To provide review of projects located in the Historic Overlay District by the Historic Landmarks Board;

*This project was reviewed by the Historic Landmarks Board on December 8, 2010, December 17, 2010, January 26, 2011, at a joint meeting with the Planning Commission of March 16, 2011, at additional study session on November 30, 2011 and January 24, 2012 and at a joint meeting with the Planning Commission of February 22, 2012.*

- To encourage the protection and reuse of structures, sites and areas that provide significant examples of the past or that are landmarks in the history of architecture;

*The proposed improvements include the in-kind replacement and new exterior work of a contributing building in the Downtown Historic Overlay District. The repair of the existing structures will provide for the continued use of the structure.*

- To preserve structures that are unique and irreplaceable assets to the city and its neighborhoods; and

*The structure is a contributing building in the Downtown Historic Overlay District. Due to its age and architectural characteristics, this building is a unique and irreplaceable asset to the City and its neighborhoods that will be rehabilitated.*

- To provide appropriate settings and environments for historic structures.

*The structure is located in the Downtown Historic Overlay District, which is an appropriate setting for the building.*

### **3. SIGN PERMIT FINDINGS**

In accordance with Zoning Ordinance Section 10.42.090(E) (Sign Permit Findings), the Sign Permit for new business signage is approved based on the following findings:

1. The proposed sign complies with all applicable provisions of this Title.

*As discussed in the Staff Report dated February 22, 2012, the Planning Commission and the Historic Landmarks Board find the signs comply with the requirements of Chapter 10.42 of the Zoning Ordinance.*

2. The proposed sign is consistent with the applicable sign standards.

*As discussed in the Staff Report dated February 22, 2012, the Planning Commission and the Historic Landmarks Board find the sign regulations allow for signs to be installed at the project site.*

3. The proposed sign will not adversely impact the public health, safety, or general welfare.

*The Planning Commission and the Historic Landmarks Board find the signs are designed to not adversely impact public health, safety, or general welfare. In addition, a building permit will be required prior to installation of the signs to ensure the signs will be installed to code.*

4. The proposed color, design, material and location of the proposed sign are compatible with the architectural design of the building.

*The Planning Commission and the Historic Landmarks Board find the color, design, materials, and location of the signs will be compatible with the façade modifications associated with a contributing building located in the Downtown Historic Overlay Zoning District.*

5. If the property is located within or near a residential area, the sign is harmonious with the character of the residential neighborhood.

*The Planning Commission and the Historic Landmarks Board find the subject site is not in a residential area. Therefore, this finding is not applicable.*

6. The proposed sign is restrained in character and is no larger than necessary for adequate identification.

*The Planning Commission and the Historic Landmarks Board find the signs will be complimentary to the aesthetic of the building, the site, and the Downtown Historic Overlay Zoning District and are adequate to identify the site.*

7. The proposed sign is consistent with the highest graphic standards and composed of durable and appropriate materials.

*The Planning Commission and the Historic Landmarks Board find the signs will be constructed out of high quality materials which are durable and compatible with the aesthetic of the project site.*

8. If the proposed sign is for an establishment within a commercial or industrial center, the sign is harmonious with the entire center's signage and has been subject to the commercial or industrial center's Design Review.

*The Planning Commission and the Historic Landmarks Board find the signs are designed to be compatible and harmonious with not only the aesthetic of the project site and the Downtown Historic Overlay District as a whole.*

9. If the proposed sign is oriented toward a residential zoning district and is within 50 feet of said district, the signage is necessary for minimum business identification and will not have an adverse aesthetic effect on the residential character of the adjacent residential neighborhood.

*The Planning Commission and the Historic Landmarks Board find the business identification signs will not be located within 50 feet of a residential zoning district. The signs will not have an adverse aesthetic effect on the residential neighborhood located above the commercial district on Bridgeway.*

10. Proposed sign serves to primarily identify the business or type of activity being conducted on the same premises, or the product, service or interest being offered for sale or lease on-site.

*The Planning Commission and the Historic Landmarks Board find the signs primarily identify the restaurant businesses being conduction on the premise and are necessary to serve the businesses at the project site.*

11. If the property is located within a designated historic district, or is listed on the local register, the proposed sign has been reviewed and approved by the Historic Landmarks Board and complies with the Historic District Sign Guidelines and Section 10.42.070 (Sign and Awning Standards in the Historic Overlay District for Properties Listed on the Local Register).

*The Planning Commission and the Historic Landmarks Board find the signs will be compatible with the architecture of the project site and the Downtown Historic Overlay District as a whole based on the scale, materials, color, and design of the signage.*

**PLANNING COMMISSION and HISTORIC LANDMARKS RESOLUTION  
FEBRUARY 22, 2012  
DR/ SP 11-332  
660 BRIDGEWAY**

**ATTACHMENT 2: CONDITIONS OF APPROVAL**

These conditions of approval apply to the project plans and materials titled "New Restaurant|Bar" and date-stamped February 14, 2012" and sign plans titled "Barrel House" and date stamped January 11, 2012, which supersede the plans titled "New Restaurant/Bar", date-stamped received March 7, 2011. All Conditions of Approval in Resolution 2011-05 remain in effect.

**General**

1. Upon building permit submittal the Conditions of Approval in this Resolution and Planning Commission Resolution No. 2011-05 shall be shown on all construction drawings.
2. Upon building permit submittal the applicant shall provide a written response demonstrating compliance with each Condition of Approval in this Resolution and Planning Commission Resolution No. 2011-05.
3. The up-lit floodlights for the roof signage as shown on Page 2 of the sign plans titled "Barrel House" and date stamped January 11, 2012 are not approved. Only down lit and shielded lighting shall be installed. The lighting shall be shown on the construction drawings shall be subject to the review and approval by the Community Development Director. The Community Development Director may request Historic Landmarks Board review and recommendation of the proposed down lit lights. The cost for Historic Landmarks Board review shall be at the applicant's expense.
4. In accordance with Bay Conservation and Development Commission (BCDC) Permit No. BCDC Permit No. M1979.088.02, the lower level deck shall not be used for private outdoor dining. The following improvements are required to be shown on the construction drawings and installed in the lower level public access way:
  - a. A bench for public seating shall be installed at the owner's expense on the lower level in the required BCDC public access area; and
  - b. A BCDC Public Shore sign shall be posted at the entry to required BCDC public access area in a clearly visible location.

**Advisory Notes**

Advisory notes are provided to inform the applicant of Sausalito Municipal Code requirements, and requirements imposed by other agencies. These requirements include, but are not limited to, the items listed below.

5. The approval for the Design Review Permit will expire in two (2) years from the effective date of this resolution if the property owner has not exercised the entitlements hereby granted, or an extension has not been filed prior to the expiration date.

6. The approval for the Minor Use Permit and the Sign Permit will expire in one (1) year from the effective date of this resolution if the property owner has not exercised the entitlements hereby granted, or an extension has not been filed prior to the expiration date.
7. An approval granted by the Planning Commission does not constitute a building permit or authorization for construction. Appropriate construction permit(s) issued by the Building Division must be obtained prior to construction.
8. All applicable City fees as established by City Council resolutions and ordinances shall be paid. Third party review fees (cost plus 10%) shall be paid.
9. Pursuant to Municipal Code Chapter 3.36, Construction Traffic Road Fees shall be paid prior to issuance of a building permit.
10. An encroachment permit shall be obtained from the Department of Public Works prior to use of the public right-of-way for non-public purposes (e.g., materials storage, debris box storage) including any and all construction and demolition activities.
11. Pursuant to Municipal Code Chapter 8.54, applicants shall submit a Recycling Management Plan to the Community Development Department prior to the issuance of any construction permits, unless the requirement is waived pursuant to Section 8.54.050.
12. Pursuant to Municipal Code Chapter 11.17, dumping of residues from washing of painting tools, concrete trucks and pumps, rock, sand, dirt, agricultural waste, or any other materials discharged into the City storm drain system that is not composed entirely of storm water is prohibited. Liability for any such discharge shall be the responsibility of person(s) causing or responsible for the discharge. Violations constitute a misdemeanor in accordance with Section 11.17.060.B.
13. Pursuant to Municipal Code Section 12.16.140, the operation of construction, demolition, excavation, alteration, or repair devices and equipment within all residential zones and areas within a 500 foot radius of residential zones shall only take place during the following hours:  
Weekdays – Between 8:00 a.m. and 6:00 p.m.  
Saturdays – Between 9:00 a.m. and 5:00 p.m.  
Sundays – Prohibited  
City holidays (not including Sundays) – Between 9:00 a.m. and 7:00 p.m.
14. Pursuant to Municipal Code Section 18.12.100, existing sewer service laterals shall be inspected for surface water connections and leakage at the time of remodeling of any building. Deteriorated service laterals shall be repaired prior to approval of the building permit.
15. Permits required by other agencies having jurisdiction within the construction area must be obtained in accordance with the respective agency's regulations.  
Marin Municipal Water District – (415-945-1400), including landscaping and irrigation regulations;  
Southern Marin Fire Protection District -- (415-388-8182); and  
Bay Conservation and Development Commission – (415-352-3600).

16. Pursuant to Municipal Code Section 10.54.100, construction activities undertaken in accordance with a design review permit shall comply with the construction time limit regulations based upon the project's valuation. Construction projects which are not completed within the time limits are subject to daily penalties.

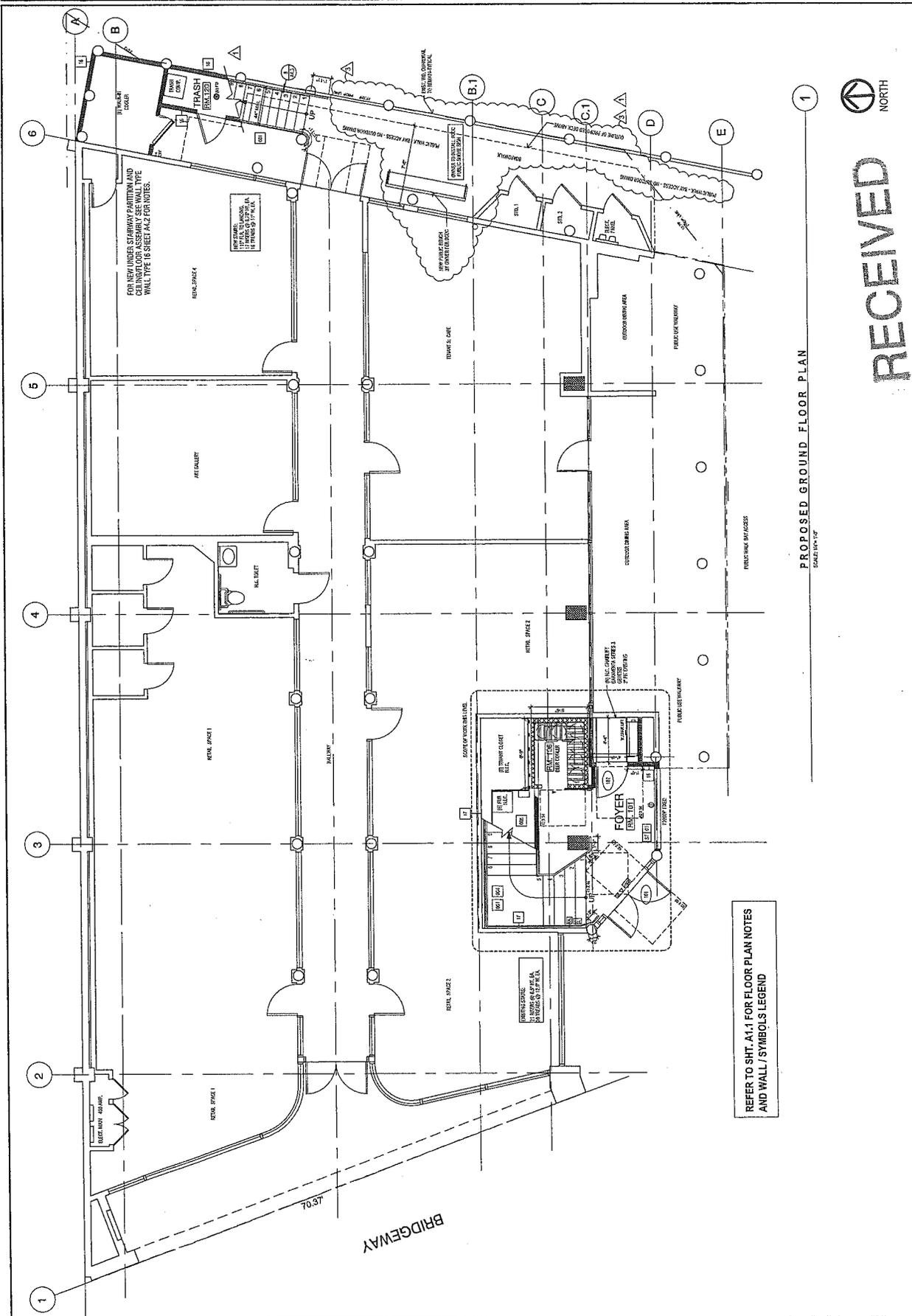
I:\CDD\PROJECTS - ADDRESS\B\Bridgeway 660\DR 10-384\2012 Modifications\pcreso 2-22-12.doc

**PLANNING COMMISSION and HISTORIC LANDMARKS RESOLUTION  
FEBRUARY 22, 2012  
DR/ SP 11-332  
660 BRIDGEWAY**

**ATTACHMENT 3: PROJECT PLANS**





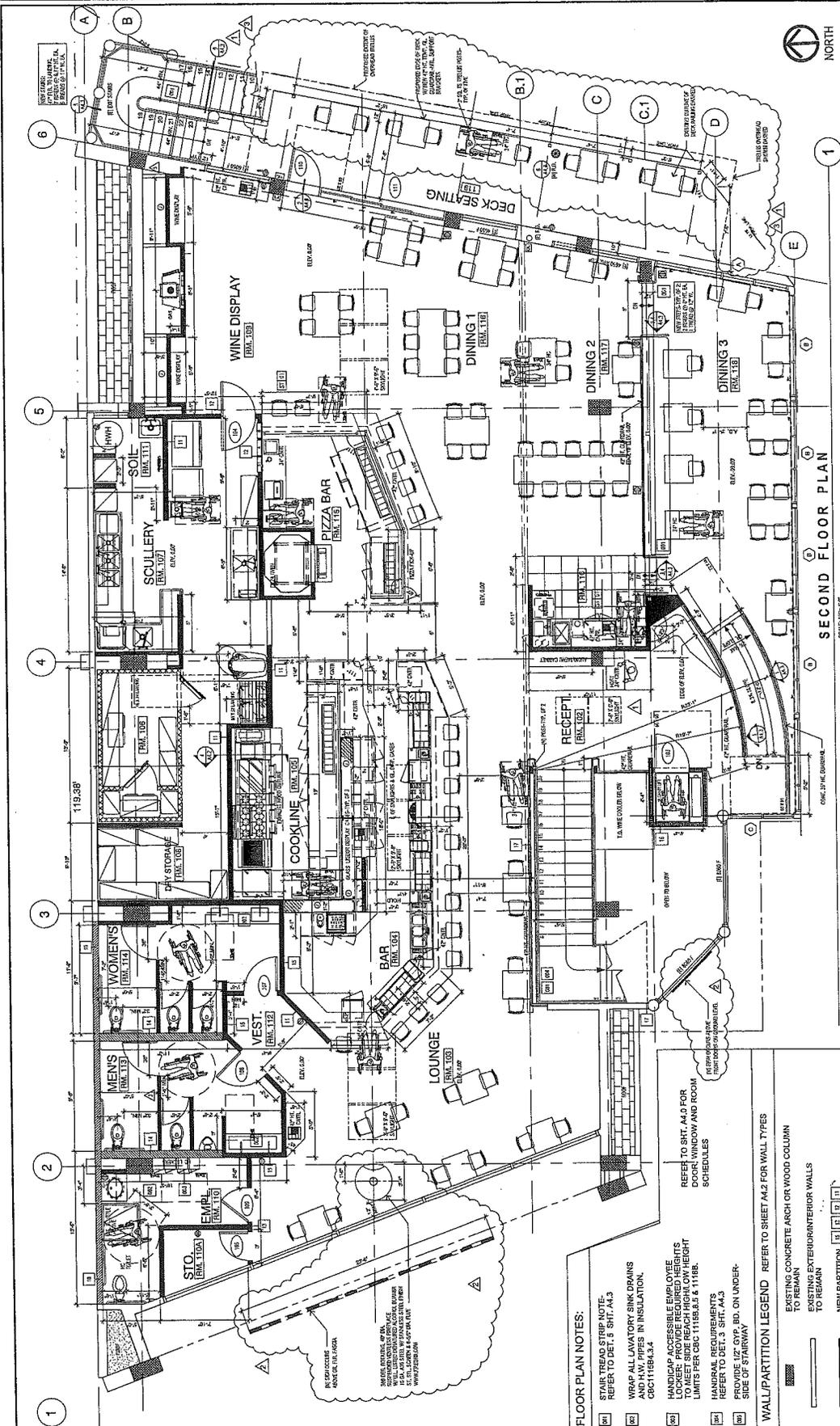


REFER TO SHT. A1.1 FOR FLOOR PLAN NOTES AND WALL / SYMBOLS LEGEND



**RECEIVED**  
 FEB 15 2012  
 CITY OF SAUSALITO  
 COMMUNITY DEVELOPMENT

PROPOSED GROUND FLOOR PLAN



- FLOOR PLAN SYMBOLS LEGEND**
- MAIN ELECTRICAL PANEL-S.E.D.
  - ELECTRICAL SUBPANEL-S.E.D.
  - SINGLE POLE SWITCH, WALL MOUNT AT 48" A.F.F.
  - THREE-WAY SWITCH, WALL MOUNT AT 48" A.F.F.
  - 110V DUPLEX RECEPTACLE GROUND FAULT INTERRUPTOR MOUNT AT 48" ABOVE COUNTER TOP AT BACKBAR LOCATIONS
  - 110V DUPLEX RECEPTACLE MOUNT AT 48" A.F.F.
  - 110V DUPLEX RECEPTACLE MOUNT AT 48" A.F.F. BELOW MAIN BAR COUNTERS.
  - 110V DUPLEX RECEPTACLE EXTERIOR WATERPROOF
  - 110V DUPLEX RECEPTACLE FLOOR MOUNT
  - 110V JUNCTION BOX-MOUNT HEIGHT PER ARCHITECT/DESIGNER
  - TELEVISION CABLE JACK WALL MOUNT
  - MOUNT PER INTERIOR ELECTRICALS
  - TELEPHONE JACK WALL MOUNT CENTER AT 48" AFF
  - HARD WIRED SMOKE DETECTOR W/BACK-UP BATTERY PROVIDE SPECIFICATIONS TO ARCH. FOR REVIEW
  - WALL MOUNT INTERNATIONAL SYMBOL OF ACCESSIBILITY PER CBC SECTION 11179.8.1.2 REFER TO SHT. A10 FOR DETAIL
  - TACTILE EXIT SIGN-SEE DET. 294.1 FOR MOUNTING
  - ILLUMINATED EXIT SIGN (HARDWIRED PER CODE W/BATTERY BACK-UP, MOUNT PER GUIDELINES ON DET. 294.1
  - W/BATTERY BACK-UP, EMERGENCY EGRESS LIGHTING
  - W/BATTERY BACK-UP, OCCUPANT LOAD SIGN PER CBC TABLE 1004.3 SEE DET. 294.1
  - FAU THERMOSTAT WALL MOUNT AT 48" AFF
  - GAS VALVE FOR ELECTR. FIREPLACE
  - CM HOSE BIB
  - DECK DRAIN

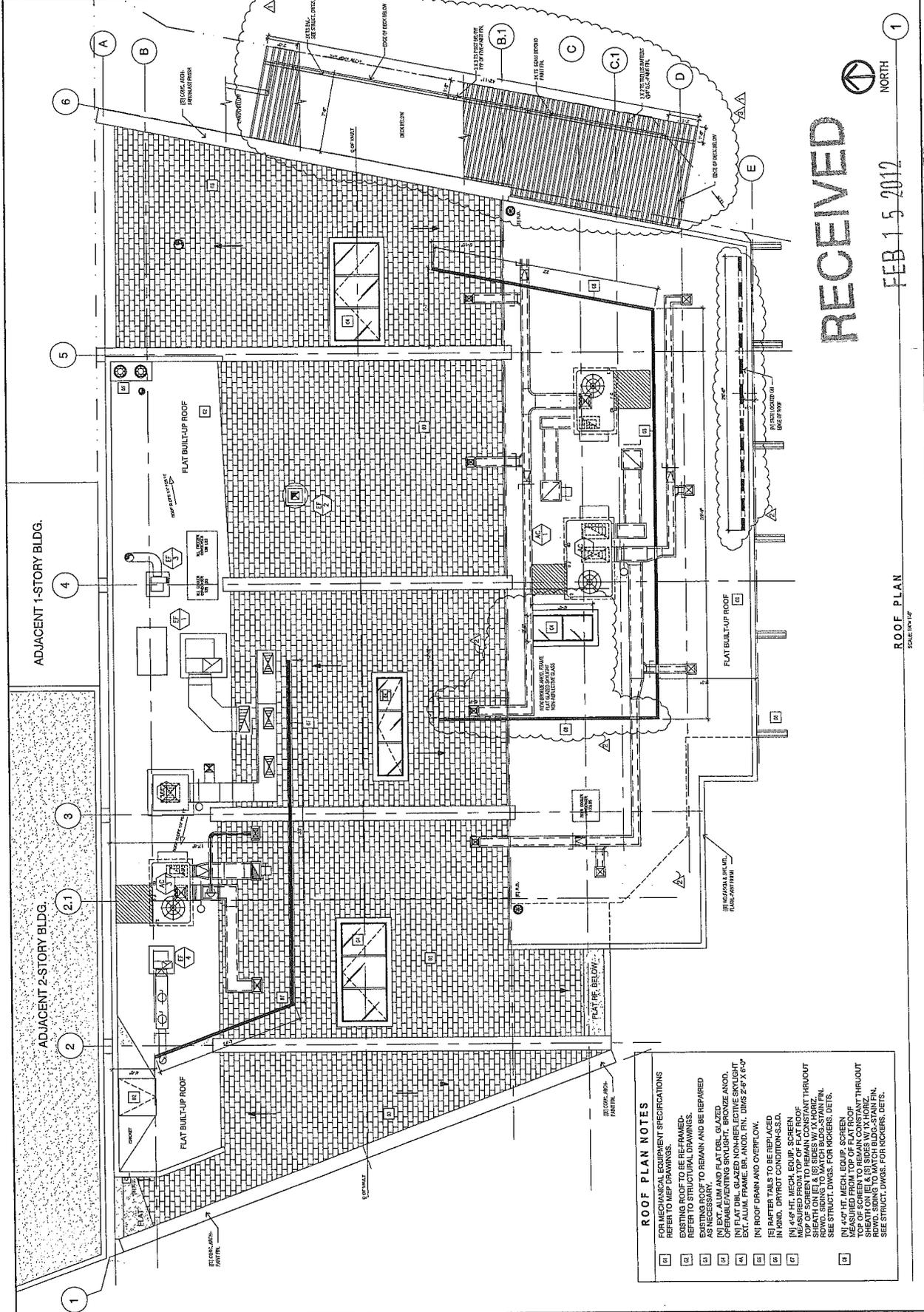
**FLOOR PLAN NOTES:**

- 01 STAIR TREAD STRIP NOTE. REFER TO DET. 5 SHT. A1.3
- 02 WRAP ALL LAVATORY SINK DRAINS TO MEET DET. 5 SHT. A1.3
- 03 HANDBICAP ACCESSIBLE SINK COUNTER TO MEET SIDE REACH-HIGH/LOW HEIGHT LIMITS PER CBC 11158.8.5 & 11158.8.6
- 04 HANDBICAP ACCESSIBLE SINK COUNTER TO MEET SIDE REACH-HIGH/LOW HEIGHT LIMITS PER CBC 11158.8.5 & 11158.8.6
- 05 PROVIDE 1/2" GYP. BD. ON UNDER-SIDE OF STAIRWAY

**WALLPARTITION LEGEND REFER TO SHEET A1.2 FOR WALL TYPES**

- EXISTING CONCRETE ARCH OR WOOD COLUMN TO REMAIN
- EXTERIOR/INTERIOR WALLS TO REMAIN
- NEW PARTITION
- PLUMBING WALL
- EXTERIOR WALL TO BE RESTORED
- ONE-HOUR FIRE-RATED WALL
- WALK-IN COOLER/FREEZER ENCLOSURE BY OTHERS
- PARTIAL HEIGHT WALL- 48" HT. AT DISPLAY WALL SUPPORT. 24" HT. @ 16" O.C. GYP. BD. BOTH SIDES OF X'S STUDS @ 16" O.C. AND 72" HT. @ VESTIBULE AND TOILET ROOMS
- DRYROT CONDITIONS S.S.D.
- FIRE RATED FURRING

**RECEIVED**  
 FEB 15 2012  
 CITY OF SAUSALITO



RECEIVED  
 FEB 15 2012  
 NORTH

ROOF PLAN  
 SCALE 1/4" = 1'-0"

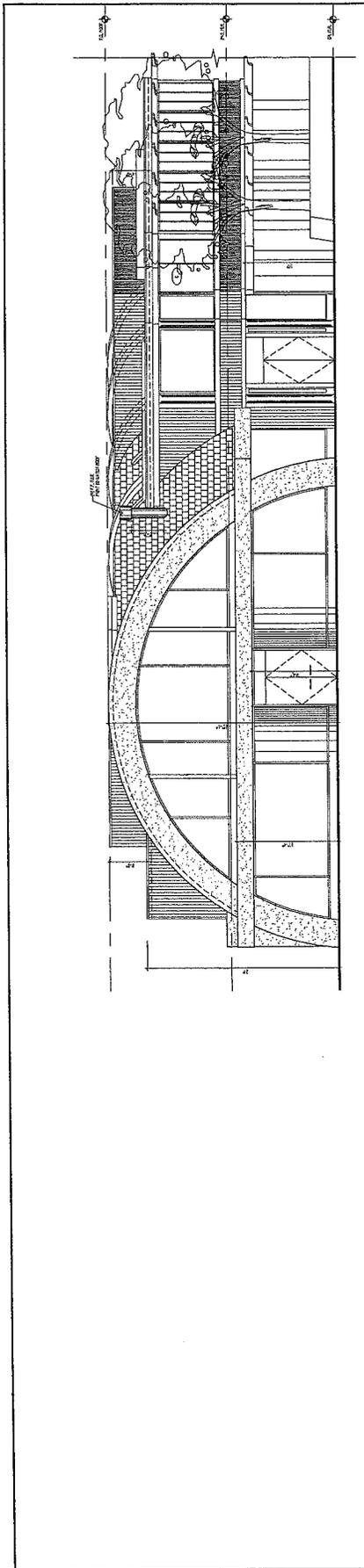
CITY OF SAUSALITO  
 COMMUNITY DEVELOPMENT

- ROOF PLAN NOTES**
- (1) FOR MECHANICAL EQUIPMENT SPECIFICATIONS REFER TO MECH. DRAWINGS.
  - (2) REFER TO STRUCTURAL DRAWINGS.
  - (3) EXISTING ROOF TO REMAIN AND BE REPAIRED AS NECESSARY.
  - (4) (M) EXT. ALUM. AND 5/8" THK. GLAZED NON-REFLECTIVE SKYLIGHT. EXT. ALUM. FRAME, ANOD. FIN. DIMS 2'-6" X 6'-0".
  - (5) (M) ROOF DRAIN AND OVERFLOW.
  - (6) (M) RAFTER TAILS TO BE REPLACED IN KIND. DRYROT CONDITIONS.S.D.
  - (7) (M) 4'-0" HT. MECH. EQUIP. SCREEN SHEATH ON (E) & (S) SIDES W/ 1" HORIZ. FIN. SEE STRUCT. DWGS. FOR HOOKERS, DETS.
  - (8) (M) 4'-0" HT. MECH. EQUIP. SCREEN MEASURED FROM TOP OF FLAT ROOF TOP OF CONCRETE (S) SIDES W/ 1" HORIZ. FIN. SEE STRUCT. DWGS. FOR HOOKERS, DETS.

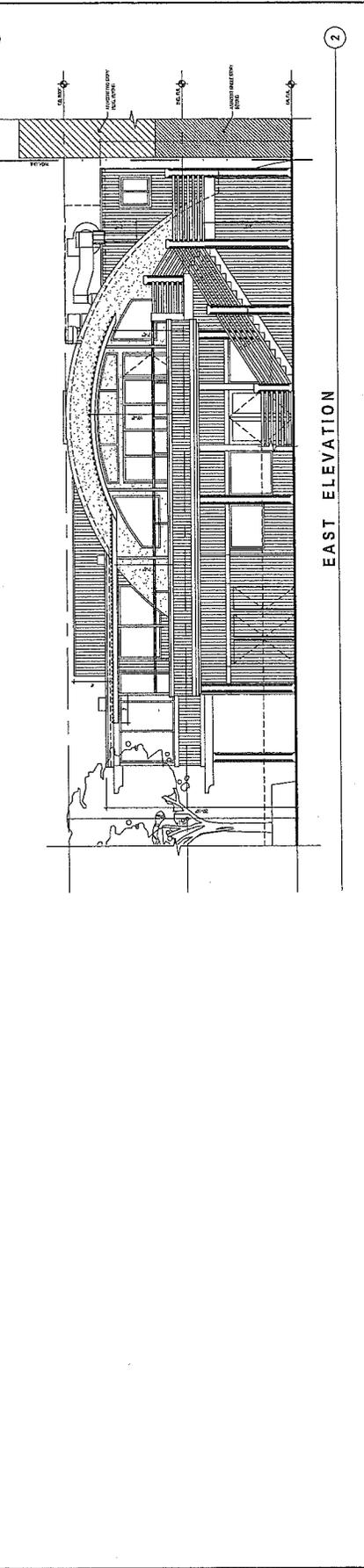
DESIGNER	lorra
DESIGNED BY	AS ARCH
DATE	
SCALE	
PROJECT NO.	
SHEET NO.	
TOTAL SHEETS	

NEW RESTAURANT | BAR  
 660 BRIDGEWAY SAUSALITO, CA  
 OWNER: MR. CHRIS HENRY

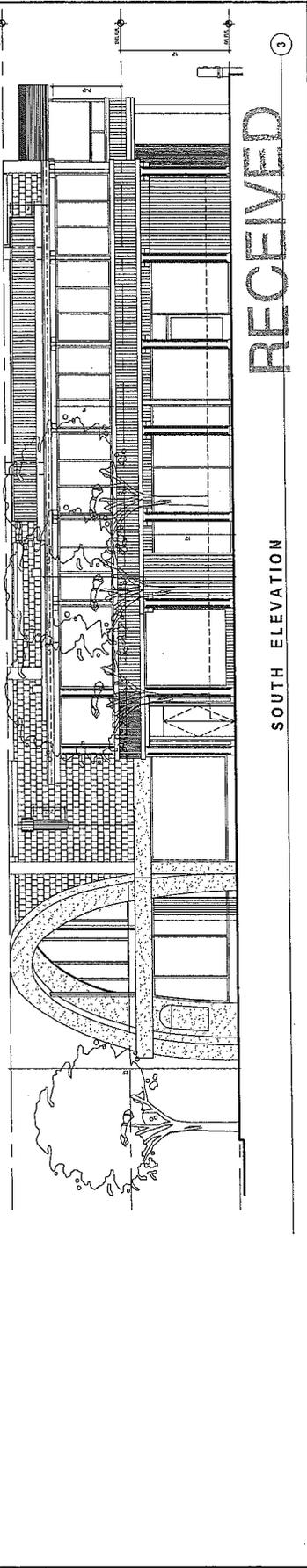
H/LB/PLAN APPROVED  
 EXTERIOR ELEVATIONS  
 A2.0



WEST (BRIDGEWAY) ELEVATION



EAST ELEVATION



SOUTH ELEVATION

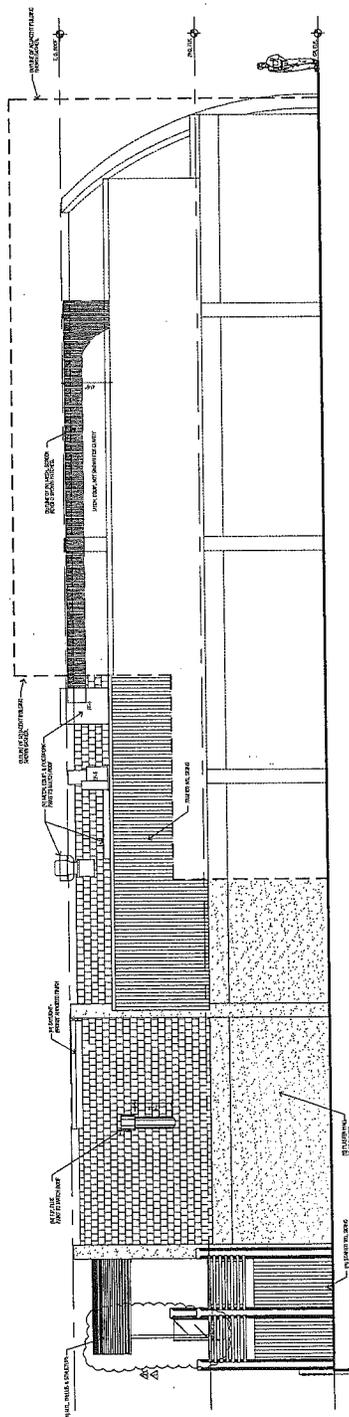
RECEIVED

FEB 15 2012  
 CITY OF SAUSALITO  
 COMMUNITY DEVELOPMENT

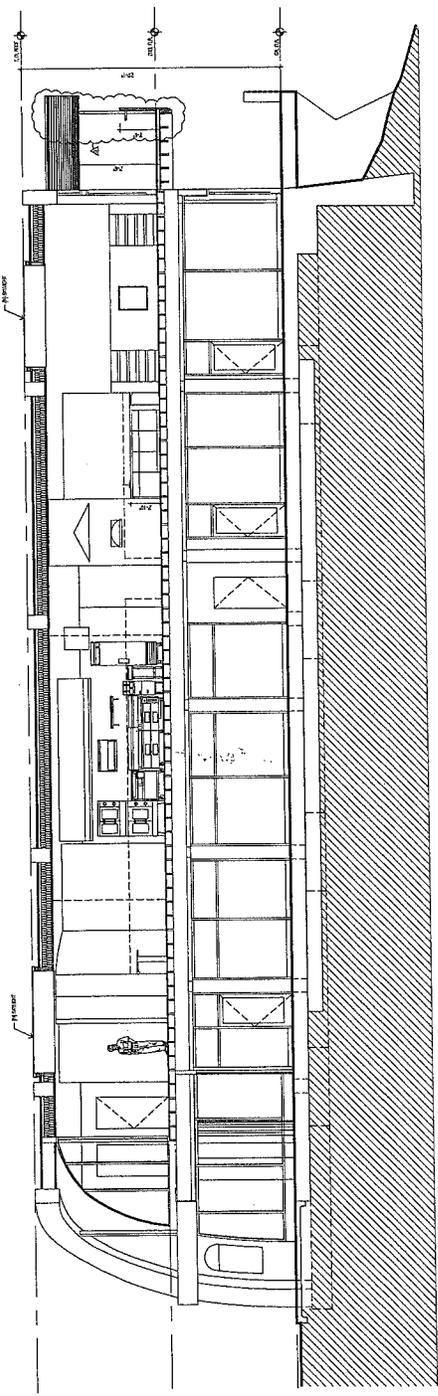




DISSEMINATION LOG PROJECT: 11078 SHEET: 11078-01 DATE: 11/15/11 DRAWN BY: J. HENRY CHECKED BY: J. HENRY APPROVED BY: J. HENRY		NEW RESTAURANT   BAR 666 BRIDGEWAY SAUSALITO, CA OWNER: MR. CHRIS HENRY	PROPOSED NORTH ELEVATION LONGITUDINAL SECTION	DATE: 11/15/11 SCALE: AS SHOWN PROJECT NO.: DRAWN BY: J. HENRY CHECKED BY: J. HENRY APPROVED BY: J. HENRY	A2.3 SHEET NO.
---	--	---	---	--	-------------------



NORTH ELEVATION



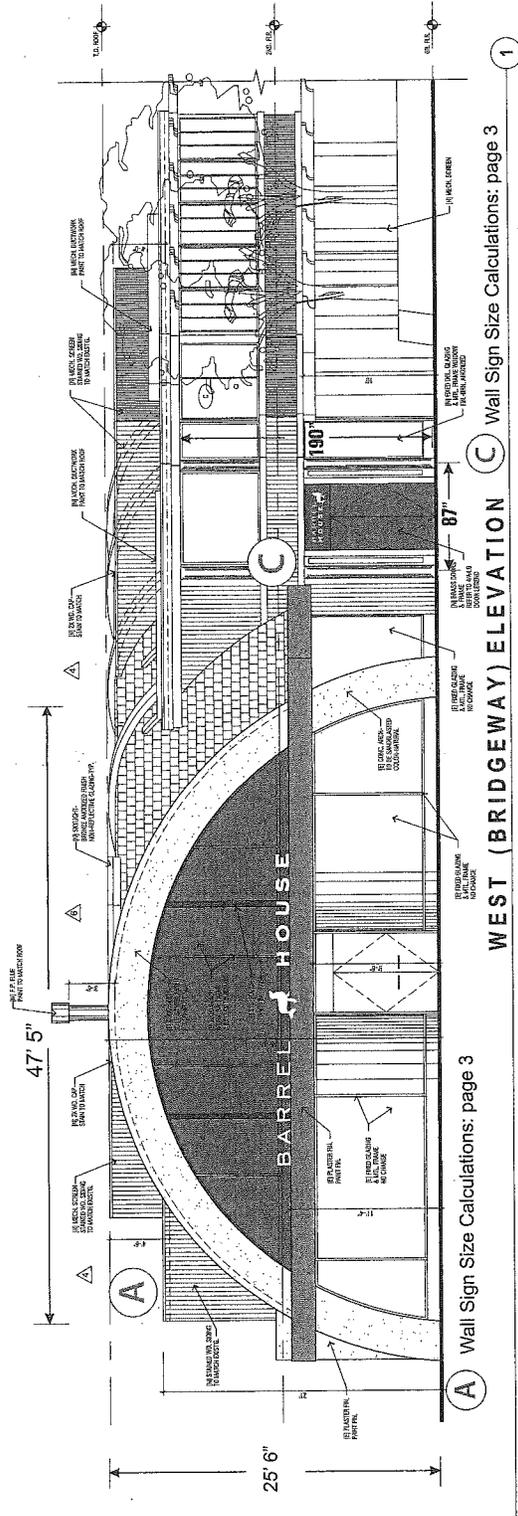
EAST / WEST BUILDING SECTION

RECEIVED

FEB 15 2012

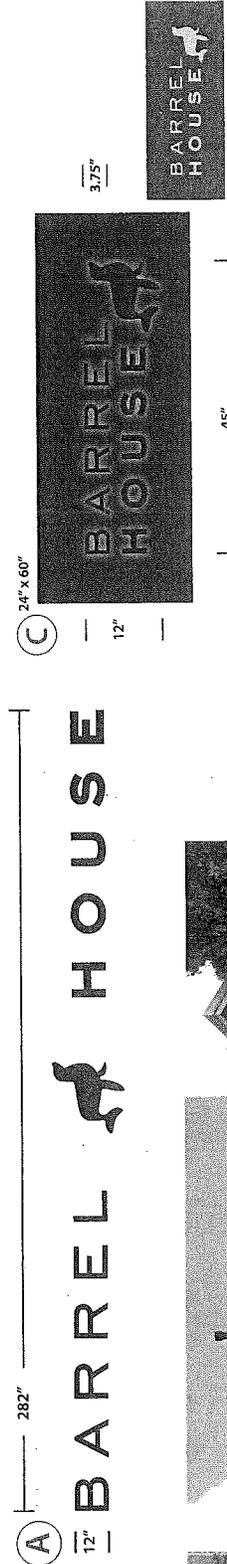
CITY OF SAUSALITO  
 COMMUNITY DEVELOPMENT

BLANK



(A) Wall Sign Size Calculations: page 3

WEST (BRIDGEWAY) ELEVATION (C) Wall Sign Size Calculations: page 3



"Golden Glow" Halo Effect  
Dimmer Switch Provided

SCOPE, Page 1:  
Fabricate & Install:  
A. (1) set 12" Satin Bronze Fabricated Letters and Logo. No Illumination.  
C. (1) 24" x 60" +/- Aluminum Sign with 1/2" push-thru Halo illuminated letters & logo. Dark Bronze Duranodic background, Satin Bronze letters & logo.

Barrel House Restaurant  
660 Bridgeway  
Sausalito, CA  
Sign A: 23.5 sq ft  
Sign B: 29.75 sq ft  
Sign C: 10 sq ft  
Total: 63.25 sq ft

1-6-12  
Page 1, Signs A & C  
Plans Prepared by Mark Barber

Barrel House  
660 BRIDGEWAY  
SAUSALITO, CA 94965  
707-445-2233 fax 445-2036  
www.barrelhouse.com

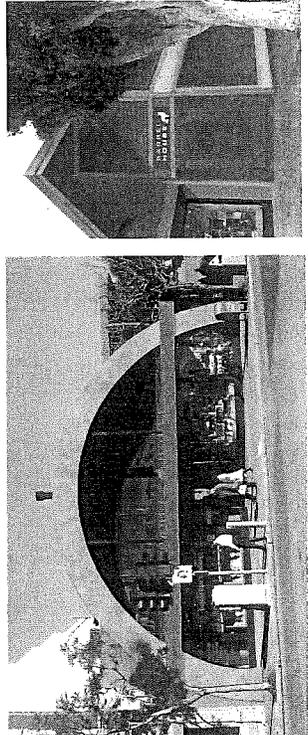
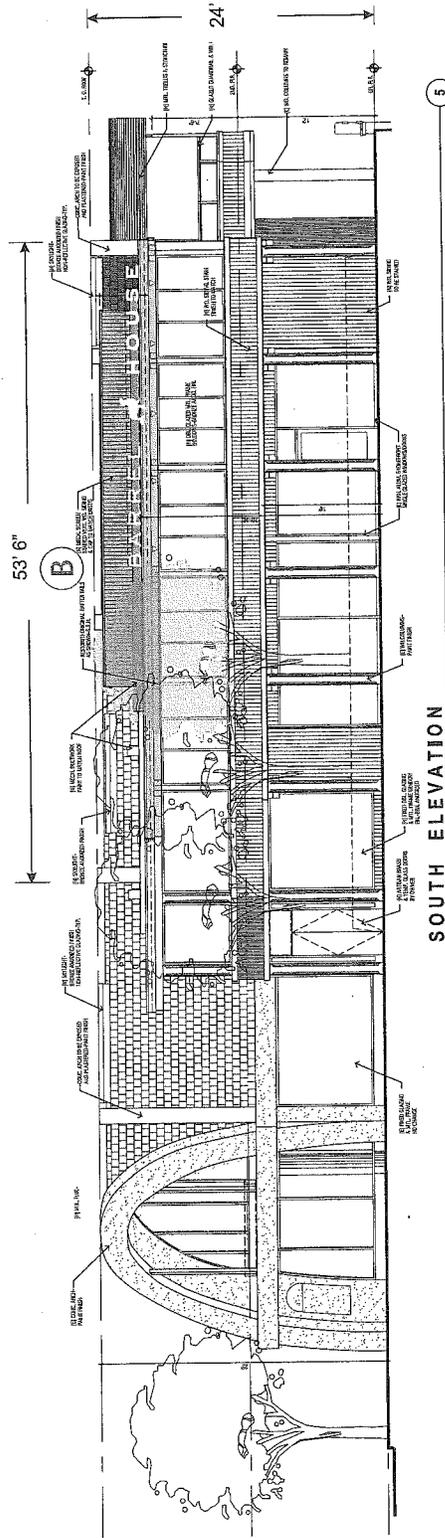


EXHIBIT D  
(3 PAGES)

RECEIVED

JAN 11 2012

CITY OF SAUSALITO  
COMMUNITY DEVELOPMENT DEPARTMENT

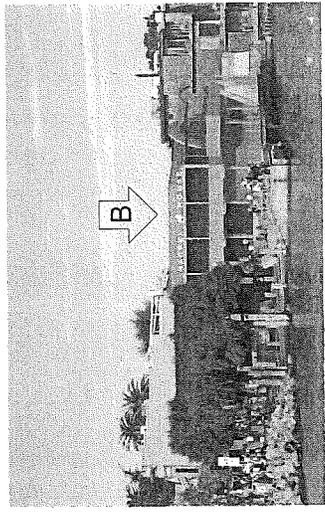
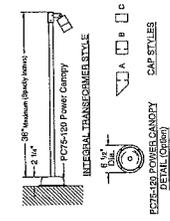
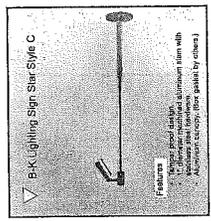


SOUTH ELEVATION

5

**B** 13.5" **BARREL HOUSE** 317.5"

Business Facade: 24' x 53' 6" = 1224 sq ft  
 Sign Area: 13.5' x 317.5' = 29.76 sq ft.  
 29.76 sq ft sign area = 2.32% of Business facade.  
 Sign Area Length: 53' 6" / 317.5' Letter Length =  
 49.5% of Sign Area Length

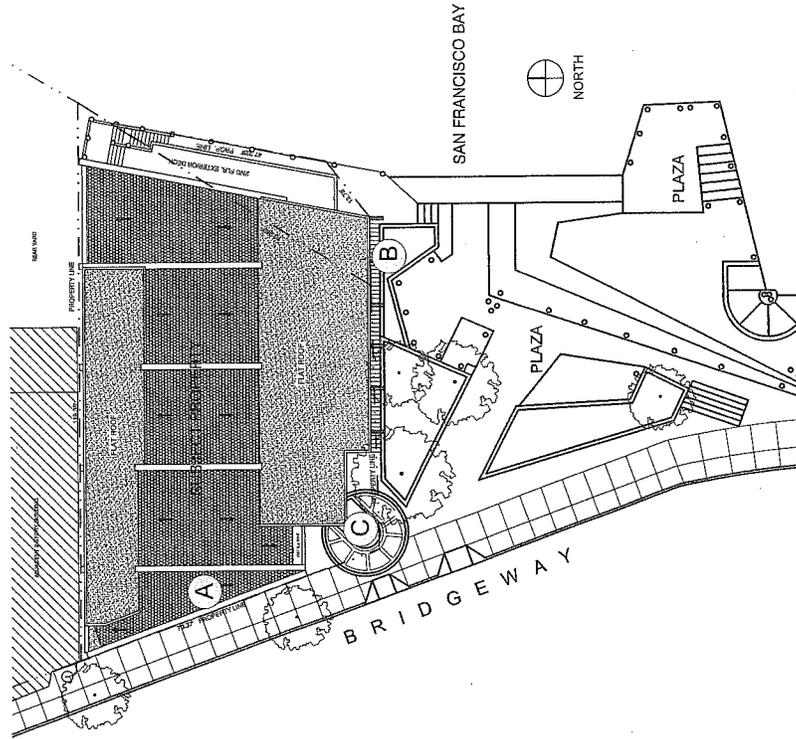


**Barber Sign**  
 Barrel House Restaurant  
 600 Bridgeway  
 Sausalito, CA  
 415-455-2233  
 www.barbersign.com

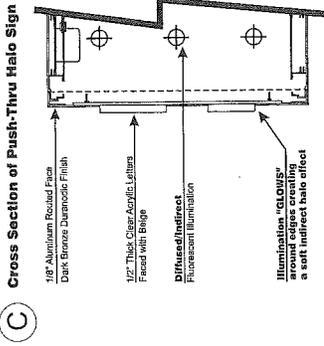
SCOPE Page 2:  
 Fabricate & Install:  
 B. (1) set 13.5' Satin Bronze  
 External Illumination,  
 Sign A: 23.5 sq ft  
 Sign B: 29.75 sq ft  
 Sign C: 7.0 sq ft  
 Total: 63.25 sq ft

Plans Prepared by: Mark Barber 1-6-12 Page 2, Sign B

**SITE PLAN/VICINITY**



**(A) (B)**  
Freestanding Bottom  
Mount Bronze Letters



**(C)** Cross Section of Push-Thru Halo Sign

**WALL SIGN CALCULATIONS**

- (A)** Business Facade: 25' 6" x 47' 5" = 1209 sq ft  
 Sign Area: 12" x 282" = 23.5 sq ft.  
 23.5 sq ft sign area = 1.94% of Business facade.  
 Sign Area Length: 47' 5" / 282" Letter Length =  
 49.5% of Sign Area Length
- (C)** Business Facade: 190" x 87" = 114.8 sq ft.  
 Sign Area: 24" x 60" = 10 sq ft.  
 10 sq ft sign area = 8.7% of Business facade.  
 Sign Area Length: 87" / 60" Letter Length =  
 68.9% of Sign Area Length

**SCOPE, Page 1:**  
 Fabricate & Install:  
 A. (1) set 12" Satin Bronze  
 Fabricated Letters and Logo  
 No Illumination; Satin Bronze  
 B. (1) set 103" Satin Bronze  
 Fabricated Letters & Logo.  
 Exposed Illumination  
 C. (1) 24" x 60" 1/4" Aluminum  
 Sign with 1/2" Push-Thru Halo  
 illuminated letters & logo.  
 Dark Bronze Duranodic background,  
 Satin Bronze letters & logo.

**Barrel House Restaurant**  
 660 Bridgeway  
 Sausalito, CA

**Sign A: 23.5 sq ft**  
**Sign B: 23.75 sq ft**  
**Sign C: 10 sq ft**  
**Total: 63.25 sq ft**

**Plans Prepared by:**  
 Mark Barber  
 1-6-12  
 Page 3, Signs A, B, C

**EnthalSign**  
 600 Highway 101, Suite 100, Sausalito, CA 94965  
 707.457.2233 fax 415.452.2076  
 www.enthalsign.com

BLANK

Lilly Schinsing

RECEIVED

**From:** Ellen Miramontes [ellenm@bcdc.ca.gov]  
**Sent:** Thursday, February 09, 2012 10:02 AM  
**To:** Lilly Schinsing  
**Cc:** chenny39@comcast.net; Eduard Llorca  
**Subject:** Re: 660 Bridgeway visit

FEB 9 2012  
CITY OF SAUSALITO  
COMMUNITY DEVELOPMENT

Lilly,  
As we just now discussed by phone, we would find it acceptable to allow a 1-foot extension of the overhead deck with the understanding that a bench for public seating would be provided on the lower level in the required public access area. As I have informed the owner, Chris Henry, previously, it is imperative that this lower level deck not be used for private outdoor dining. To ensure that the public is aware that this area is for public use and enjoyment, I will send Chris Henry a BCDC Public Shore sign which shall be posted at the entry to this deck area in a clearly visible location.

With a 1-foot extension, the upper level deck will accommodate the 3-foot width needed for dining, the 4-foot width needed for egress and 6-inches for the deck railing.

Chris,  
Please provide me with a mailing address to which I can send the BCDC Public Shore sign. Also, please submit a photograph or specification sheet of a bench to be placed at the lower level for my review and approval.

Please call me with any questions you might have.

Regards,

--

Ellen Miramontes  
Bay Design Analyst  
SF Bay Conservation and Development Commission  
50 California Street, Suite 2600  
San Francisco, California 94111

415-352-3643  
<http://www.bcdc.ca.gov/>

EXHIBIT E  
(1 PAGE)

BLANK

660 Bridgeway Sausalito Land & Ferry Company, 1910



Purity Market, 1969



EXHIBIT F  
(1 PAGE)

BLANK

**SAUSALITO PLANNING COMMISSION AND HISTORIC LANDMARKS BOARD  
RESOLUTION NO. 2011-05**

**APPROVAL OF A DESIGN REVIEW PERMIT FOR THE  
REHABILITATION OF THE BUILDING AT 660 BRIDGEWAY  
(DR 10-384)**

---

**WHEREAS**, on December 15, 2010 an application was filed by the applicant and property owner, Chris Henry, requesting Planning Commission and Historic Landmarks Board approval of a Design Review Permit for the rehabilitation of the building located at 660 Bridgeway (APN 065-133-25); and

**WHEREAS**, the Planning Commission and Historic Landmarks Board conducted a duly-noticed public hearing on March 16, 2011, at which time all interested persons were given an opportunity to be heard; and

**WHEREAS**, the Planning Commission and Historic Landmarks Board have reviewed and considered the project plans titled "New Restaurant/Bar", date-stamped received March 7, 2011; and

**WHEREAS**, the Planning Commission and Historic Landmarks Board have considered all oral and written testimony on the subject application; and

**WHEREAS**, the Planning Commission and Historic Landmarks Board have reviewed and considered the information contained in the staff report dated March 16, 2011 for the proposed project; and

**WHEREAS**, the Planning Commission and Historic Landmarks Board have found that the project is consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties; and

**WHEREAS**, the Planning Commission and Historic Landmarks Board find that the project is categorically exempt from California Environmental Quality Act (CEQA) pursuant to Section 15331 of the CEQA Guidelines; and

**WHEREAS**, the Planning Commission and Historic Landmarks Board find that, as conditioned herein, the proposed project complies with the requirements of the General Plan and Zoning Ordinance as described in the staff report dated March 16, 2011.

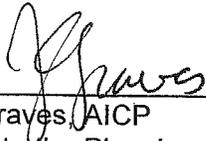
**NOW, THEREFORE, THE PLANNING COMMISSION AND HISTORIC LANDMARKS BOARD HEREBY RESOLVE:**

A Design Review Permit DR 10-348 to allow the rehabilitation of the building at 660 Bridgeway is approved based upon the findings provided in Attachment 1, and subject to the conditions of approval provided in Attachment 2. The project plans are provided in Attachment 3.

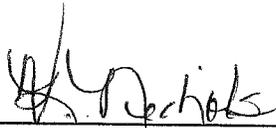
**RESOLUTION PASSED AND ADOPTED**, at the joint meeting of the Sausalito Planning Commission and Historic Landmarks Board on the 16<sup>th</sup> day of March 2011, by the following vote:

**EXHIBIT G**  
(26 PAGES)

AYES: Commissioner: Werner, Graef, Cox, Keegin  
NOES: Commissioner: None  
ABSENT: Commissioner: Bair  
ABSTAIN: Commissioner: None

  
\_\_\_\_\_  
Jeremy Graves, AICP  
Secretary to the Planning Commission

AYES: Board Member: Kiernat, Flavin, Nichols, Pierce  
NOES: Board Member: None  
ABSENT: Board Member: None  
ABSTAIN: Board Member: None

  
\_\_\_\_\_  
Vicki Nichols  
Secretary to the Historic Landmarks Board

**ATTACHMENTS**

- 1- Findings
- 2- Conditions of Approval
- 3- Project Plans

I:\CDD\PROJECTS - ADDRESS\B\Bridgeway 660\DR 10-384\Resolutions\pchlbr reso 2011-05.doc

**PLANNING COMMISSION AND HISTORIC LANDMARKS BOARD RESOLUTION**

**March 16, 2011**

**DR 10-348**

**660 Bridgeway**

**ATTACHMENT 1: FINDINGS**

**1. DESIGN REVIEW PERMIT FINDINGS**

In accordance with Zoning Ordinance Section 10.54 (Design Review Procedures), the Design Review Permit is approved based on the following findings:

- A) The proposed project is consistent with the General Plan, any applicable specific plans and this chapter.

*The project is consistent with General Plan policies and purposes of the Central Commercial Zoning District, including those related to maintaining the historic character of the downtown, enhancing economic diversity, and maintaining the integrity of historic structures.*

- B) The proposed architecture and site design complements the surrounding neighborhood and/or district by either: a) Maintaining the prevailing design character of the neighborhood and/or district or b) Introducing a distinctive and creative solution which takes advantage of the unique characteristics of the site and contributes to the design diversity of Sausalito.

*The project will enhance the existing building by rehabilitating the structure. No new substantial design changes are proposed.*

- C) The proposed project is consistent with the general scale of structures and buildings in the surrounding neighborhood and/or district.

*The project will rehabilitate the existing structure. The proposed improvements to the structure will not alter the scale of the existing building, which are historically representative of the scale of Downtown structures.*

- D) The proposed project has been located and designed to minimize obstruction of public views and primary views from private property.

*The project will rehabilitate the structure in conjunction with a new restaurant. The relocation, consolidation and minimization of rooftop equipment associated with the restaurant operation has been located and designed to minimize both obstruction of public and private views.*

- E) The proposed project will not result in a prominent building profile (silhouette) above a ridgeline.

*The proposed project is not located on a ridgeline to create such impacts.*

- F) The proposed landscaping provides appropriate visual relief, complements the buildings and structures on the site, and provides an attractive environment for the enjoyment of the public.

*This project does not propose any additional landscaping, and therefore this finding is not applicable.*

- G) The design and location of buildings provide adequate light and air for the project site, adjacent properties, and the general public.

*The structure was originally constructed in 1935 and modified in 1981. The rehabilitation will repair the existing facilities and not create a change in scale or mass and therefore, the project will have no impact on the light and air for the project site, adjacent properties, and the general public.*

- H) Exterior lighting, mechanical equipment, and chimneys are appropriately designed and located to minimize visual, noise and air quality impacts to adjacent properties and the general public.

*The proposed project will reuse existing exterior lighting fixtures. The relocation, consolidation and minimization of rooftop equipment associated with the restaurant operation has been designed to minimize visual, noise and air quality impacts to adjacent properties and the general public.*

- I) The project provides a reasonable level of privacy to the site and adjacent properties, taking into consideration the density of the neighborhood, by appropriate landscaping, fencing, and window deck and patio configurations.

*The structure was originally constructed in 1935 and modified in 1981. The rehabilitation will repair the existing facilities and not create a change in scale or mass. Therefore, the project will have no impact on privacy.*

- J) Proposed entrances, exits, internal circulation, and parking spaces are configured to provide an appropriate level of traffic safety and ease of movement.

*There will be no alteration to the existing proposed entrances, exits, internal circulation or parking spaces, and therefore no change in the level of traffic safety and ease of movement.*

- K) The proposed design preserves protected trees and significant natural features on the site to a reasonable extent and minimizes site degradation from construction activities and other potential impacts.

*The proposed project does not impact existing natural features on the site.*

- L) The project site is consistent with the guidelines for heightened review for projects which exceed 80% of the maximum allowed Floor Area Ratio and/or site coverage, as specified in subsection E (Heightened [Design] Review Findings).

*The project is not subject to Heightened [Design] Review Requirements and no addition of building coverage or floor area is proposed.*

## 2. HISTORIC OVERLAY DISTRICT FINDINGS

In accordance with the Sausalito Zoning Ordinance Section 10.46 (Historic Overlay District), the Planning Commission and Historic Landmarks Board find:

- A) The proposed new construction or alteration is compatible with the architectural and historical features of the structure and/or district.

*The project proposes the rehabilitation of the existing structure in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.*

- B) The historical context of the original structure or district has been considered during the development and review of the proposal.

*The historical context of the original structure was considered during Historic Landmarks Board study sessions. The rehabilitation project was found to not impact the original structure. The project proposes the rehabilitation of the existing structure in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.*

- C) The criteria for listing the structure or site on the local register does not apply, or the Historic overlay district will not be affected by the new construction or alterations.

*The repair and replacement of siding, trim and windows to match the existing structures will not affect the Historic Overlay District.*

- D) The State Historic Building Code is being applied to minimize alterations to the original historic structure.

*The State Historic Building Code will be applied to this rehabilitation project to minimize alterations to the original historic structure.*

- E) The Secretary of Interior Standards for Treatment of Historic Properties have been used to review and consider the new construction and proposed alterations.

*The project proposes the rehabilitation of the existing structure in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.*

- F) Alternative uses and configurations have been considered as part of the Design Review process.

*Alternative configurations for the rooftop configuration were proposed and considered during Historic Landmarks Board study sessions. The design of the project was revised to respond to the Historic Landmarks Board comments.*

- G) Findings specified by Chapter 10.54 (Design Review Procedures) can be made.

*The Design Review Findings can be favorably made, as discussed in the findings above.*

- H) The proposed new construction or alteration will be compatible with and help achieve the purposes of the Historic Overlay District (Chapter 10.28.040.A).

*The rehabilitation will be compatible with the purposes of the Historic Overlay District, as described below.*

- To promote the conservation, preservation, and enhancement of the historic or architecturally significant structures and sites that form an important link to Sausalito's past;

*The proposed improvements include the in-kind replacement and new exterior work of a contributing building in the Downtown Historic District. The original structure will not be altered and the concrete arches which are characteristic of the Purity Market will remain.*

- To deter demolition, destruction, alteration, misuse or neglect of historic or architecturally significant buildings;

*The project rehabilitates and existing contributing building in the Downtown Historic District to accommodate a new use in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.. The project minimizes impacts to the existing structure.*

- To stimulate the economic health and quality of the community and stabilize and enhance the value of property;

*The project's repairs will enhance the aesthetics of the structures thereby contributing to the value of the property.*

- To encourage development tailored to the character and significance of the historic district through sign and design review standards;

*This project requires a design review permit, approved by the Planning Commission and Historic Landmarks Board. In addition, any sign permits must comply with the requirements for signs in the Historic Overlay District in accordance with Section 10.42.070 of the Zoning Ordinance.*

- To provide review of projects located in the Historic overlay district by the Historic Landmarks Board;

*This project was reviewed by the Historic Landmarks Board on December 8, 2010, December 17, 2010 and January 26, 2011 and at a joint meeting with the Planning Commission of March 16, 2011.*

- To encourage the protection and reuse of structures, sites and areas that provide significant examples of the past or that are landmarks in the history of architecture;

*The proposed improvements include the in-kind replacement and new exterior work of a contributing building in the Downtown Historic District. The repair of the existing structures will provide for the continued use of the structure.*

- To preserve structures that are unique and irreplaceable assets to the city and its neighborhoods; and

*The structure is a contributing building in the Downtown Historic District. Due to its age and architectural characteristics, this building is a unique and irreplaceable asset to the City and its neighborhoods that will be rehabilitated.*

- To provide appropriate settings and environments for historic structures.

*The structure is located in the Downtown Historic District, which is an appropriate setting for the building.*

**PLANNING COMMISSION AND HISTORIC LANDMARKS BOARD RESOLUTION**  
**March 16, 2011**  
**DR 10-348**  
**660 Bridgeway**

**ATTACHMENT 2: CONDITIONS OF APPROVAL**

These conditions of approval apply to the plans prepared by Disseny Llorca, entitled "New Restaurant/Bar", date-stamped received March 7, 2011.

**General Conditions**

1. Upon building permit submittal the Conditions of Approval shall be shown on all construction drawings.
2. Upon building permit submittal the applicant shall provide a written response demonstrating compliance with each Condition of Approval.
3. Any new exterior lighting shall be down lit and shielded.
4. In order to reduce glare, the skylights shall be constructed of non-reflective glass.
5. The skylight exterior framing shall be painted to match the roof.
6. Exposed rooftop equipment and ductwork shall be painted to match the roof.
7. The rooftop equipment screening shall tie more aesthetically into the barrel roof.
8. The approval of the final color scheme shall be made by a subcommittee composed of one Planning Commissioner and one Historic Landmarks Boardmember.
9. The "Henry's" sign in the custom front door is not approved. The applicant shall submit a sign permit application and receive subsequent approval of the sign or remove the sign from the drawings.
10. Pursuant to Section 10.42.070, any new signage shall require a Sign Permit to be reviewed by the Planning Commission and Historic Landmarks Board at a joint meeting.
11. Improvements within the public right of way shall conform to the Cities and County of Marin "Uniform Construction Standards."
12. Third party peer reviews may be required as determined by the City Engineer or authorized designee. Such review shall be performed at the Developer's expense and may include the review of the final soils report, grading, hydrology, lot closure calculations, improvement plans, erosion control plans and post construction pollution prevention plans, field inspections of permitted work. Developer shall submit a deposit to the City prior to third party review.

13. Prior to issuance of the Certificate of Occupancy, the applicant shall complete all necessary public safety improvements subject to the approval of the City Engineer.
14. No alternative or unrelated construction, site improvements, tree removal and/or alteration, exterior alterations and/or interior alterations and/or renovations not specified in the project plans, or alterations approved by the Community Development Director, shall be performed on the project site. In such cases, this approval shall be rendered null and void unless approved by the Community Development Director as a modification to this approval.
15. In the event that any condition imposing a fee, exaction, dedication or other mitigation measure is challenged by the project sponsors in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal or final resolution of such action. If any condition is invalidated by a court of law, the entire project shall be reviewed by the City and substitute conditions may be imposed.
16. The applicant shall indemnify the City for any and all costs, including without limitation attorneys' fees, in defending this project or any portion of this project and shall reimburse the City for any costs incurred by the City's defense of the approval of the project.

#### **Drainage Conditions**

17. The building permit plans shall show existing and proposed downspouts and their discharge locations.
18. The building permit plans shall show existing and proposed drainage patterns. The project shall not alter existing drainage patterns or quantity off of the property.

#### **Stormwater Pollution Prevention**

19. The Developer's contractor shall provide adequate dust control measures during construction.
20. Developer shall prepare and implement a Water Pollution Prevention Plan that addresses construction related and post-construction related site management practices including demolition, general construction, concrete, paving, dewatering, contaminated soils masonry, tile work, painting litter control, motor vehicle washing and maintenance, storage of hazardous materials.
21. To the maximum extent feasible, drainage from paved surfaces and roofs shall be routed through grassy swales, cisterns, buffer strips or filters prior to discharge into the storm drainage system.

#### **Street Conditions**

22. Applicant shall repair or replace, at no expense to the City, damage to existing public facilities due to construction activities prior to issuance of a Certificate of Occupancy. Contractor shall save and protect all existing facilities not designated for removal or modification within the project limits.

### **Utility Conditions**

23. Prior to issuance of a Building Permit, plans shall include details of the new grease interceptor for the review and approval of the City's Sanitary Sewer Coordinator.
24. Prior to issuance of a Building Permit, plans shall include notes and details for the replacement of the sanitary sewer lateral.
25. No backfill of the sanitary sewer lateral trench shall occur until approval is received from the City's Sewer Systems Coordinator.
26. Sewer lateral pipe material and sewer lateral appurtenances shall be per the recommendations of the City's Sewer Systems Coordinator and shall be shown on the drawings prior to issuance of a Building Permit. Allowable pipe material shall depend upon the depth of the proposed new sanitary sewer lateral below grade.
27. Prior to issuance of Certificate of Occupancy Developer or designated agent shall submit an As-Built video of the sewer lateral for inspection and verification by the City's Sewer System Coordinator.

### **Engineering Conditions**

28. Prior to issuance of a Building Permit all property line bearings and distances on the Vicinity Map/Site Plan shall be labeled correctly.
29. Prior to issuance of a Building Permit all drawings shall provide drawing scales, whether they are to scale or not to scale.
30. Construction related access and staging shall not be allowed via Bridgeway or Yee Toc Chee Park except for work directly related to the replacement of the sanitary sewer lateral.
31. Construction materials, equipment, vehicles, and debris boxes shall not be placed on Bridgeway, Yee Tock Chee Park or other public facilities in the vicinity of this project.
32. Access to public facilities shall not be limited by the proposed construction.
33. Emergency vehicle access and access to adjacent properties shall be maintained at all times throughout the duration of this project.
34. City Engineer may waive or defer improvement construction.

### **Fire Conditions**

35. Prior to issuance of a building permit the following Fire District requirements shall be indicated on the plans:
  - a. In any building with an existing automatic sprinkler system, protection shall be extended to any and all areas of alteration, repair, remodel or addition, regardless of job size so that 100% coverage is maintained.
  - b. Where a Type 1 hood system is installed a UL 300 Wet-Chemical extinguishing system shall be provided and installed according to NFPA 13.

- c. An approved Automatic and Manual Fire Alarm System shall be provided in accordance with standards as established by the National Fire Protection Association. Said system must be connected to the headquarters of the Southern Marin Fire Protection District through an approved U.L. central monitoring station.
  - d. A manual Fire Alarm Box shall be required at the main exit of the building. It shall be installed according to NFPA 72 and ADA requirements.
  - e. In order to be considered part of an accessible means of egress, an exit stairway shall have a clear width of 48 inches minimum between handrails and shall either incorporate an area of refuge within an enlarged floor-level landing or shall be accessed from either an area of refuge complying with Section 1007.6 2010 California Fire Code.
  - f. All exiting doors shall comply with Section 1007.3 of the 2010 California Fire Code. Egress doors shall be readily operable from the egress side without the use of a key or special knowledge or effort.
  - g. A Fire Safety and Evacuation plan shall be submitted and authorized prior to final inspection.
  - h. Exit signs shall be installed in accordance with the 2010 California Fire Code requirements.
36. A Fire Safety and Evacuation plan shall be submitted and authorized prior to final inspection by the Fire District.
37. Prior to the issuance of the Certificate of Occupancy the Fire District shall provide a final sign-off.

**Advisory Notes**

Advisory notes are provided to inform the applicant of Sausalito Municipal Code requirements, and requirements imposed by other agencies. These requirements include, but are not limited to, the items listed below.

- 1. This approval will expire in two (2) years from the effective date of this resolution if the property owner has not exercised the entitlements hereby granted, or an extension has not been filed prior to the expiration date.
- 2. An approval granted by the Planning Commission does not constitute a building permit or authorization for construction. Appropriate construction permit(s) issued by the Building Division must be obtained prior to construction.
- 3. All applicable City fees as established by City Council resolutions and ordinances shall be paid. Third party review fees (cost plus 10%) shall be paid.
- 4. Pursuant to Municipal Code Chapter 3.36, Construction Traffic Road Fees shall be paid prior to issuance of a building permit.
- 5. An encroachment permit shall be obtained from the Department of Public Works prior to use of the public right-of-way for non-public purposes (e.g., materials storage, debris box storage) including any and all construction and demolition activities.

6. Pursuant to Municipal Code Chapter 8.54, applicants shall submit a Recycling Management Plan to the Community Development Department prior to the issuance of any construction permits, unless the requirement is waived pursuant to Section 8.54.050.
7. Pursuant to Municipal Code Chapter 11.17, dumping of residues from washing of painting tools, concrete trucks and pumps, rock, sand, dirt, agricultural waste, or any other materials discharged into the City storm drain system that is not composed entirely of storm water is prohibited. Liability for any such discharge shall be the responsibility of person(s) causing or responsible for the discharge. Violations constitute a misdemeanor in accordance with Section 11.17.060.B.
8. Pursuant to Municipal Code Section 12.16.140, the operation of construction, demolition, excavation, alteration, or repair devices and equipment within all residential zones and areas within a 500 foot radius of residential zones shall only take place during the following hours:  
Weekdays – Between 8:00 a.m. and 6:00 p.m.  
Saturdays – Between 9:00 a.m. and 5:00 p.m.  
Sundays – Prohibited  
City holidays (not including Sundays) – Between 9:00 a.m. and 7:00 p.m.
9. Pursuant to Municipal Code Section 18.12.100, existing sewer service laterals shall be inspected for surface water connections and leakage at the time of remodeling of any building. Deteriorated service laterals shall be repaired prior to approval of the building permit.
10. Permits required by other agencies having jurisdiction within the construction area must be obtained in accordance with the respective agency's regulations.
  - a. Marin Municipal Water District – (415-945-1400), including landscaping and irrigation regulations;
  - b. Southern Marin Fire Protection District – (415-388-8182); and
  - c. Bay Conservation and Development Commission – (415-352-3600).
11. Pursuant to Municipal Code Section 10.54.100, construction activities undertaken in accordance with a design review permit shall comply with the construction time limit regulations based upon the project's valuation. Construction projects which are not completed within the time limits are subject to daily penalties.

I:\CDD\PROJECTS - ADDRESS\B\Bridgeway 660\DR 10-384\Resolutions\pchlb\reso 2011-05.doc

**PLANNING COMMISSION AND HISTORIC LANDMARKS BOARD RESOLUTION**  
**March 16, 2011**  
**DR 10-348**  
**660 Bridgeway**

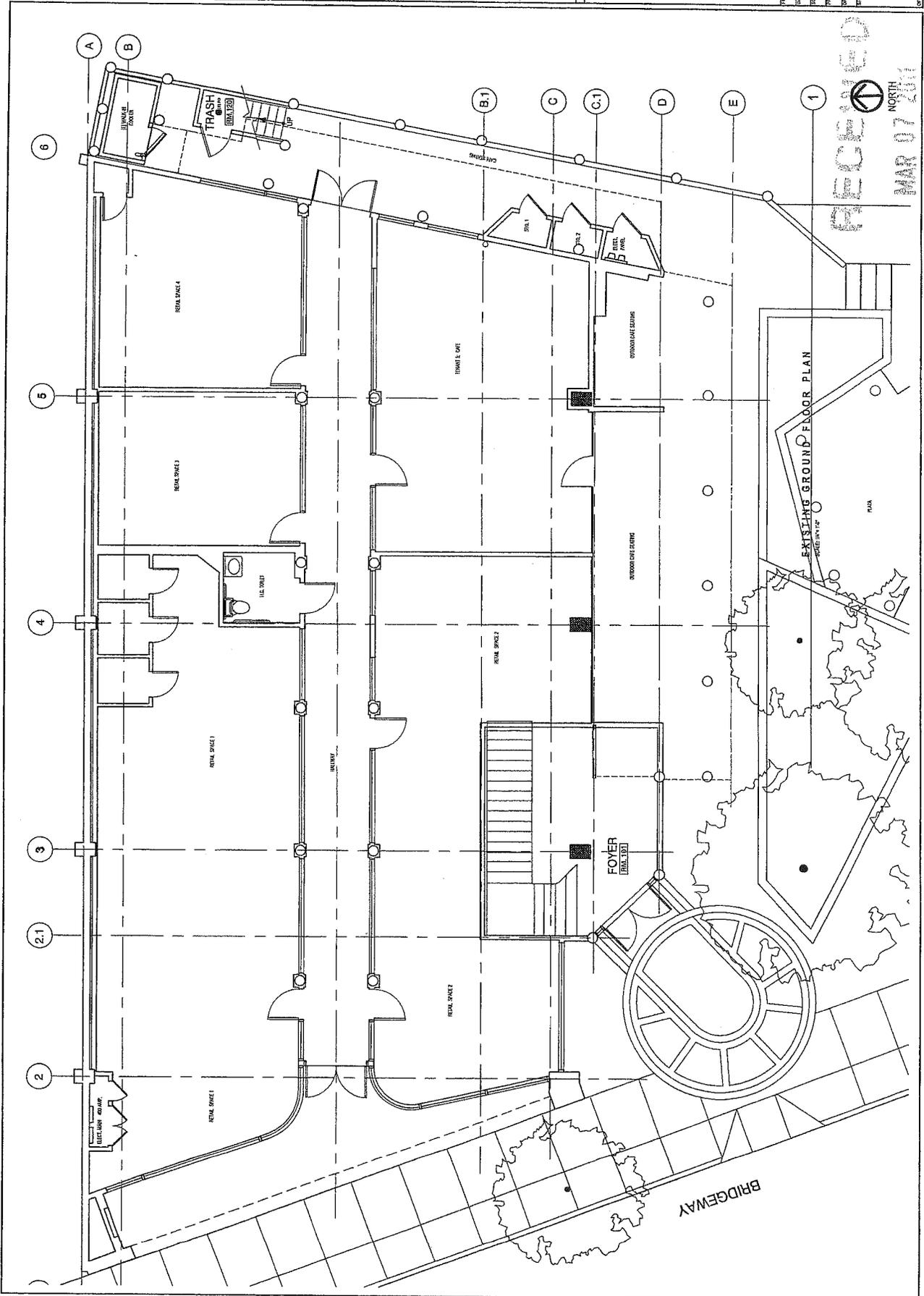
**ATTACHMENT 3: PROJECT PLANS**



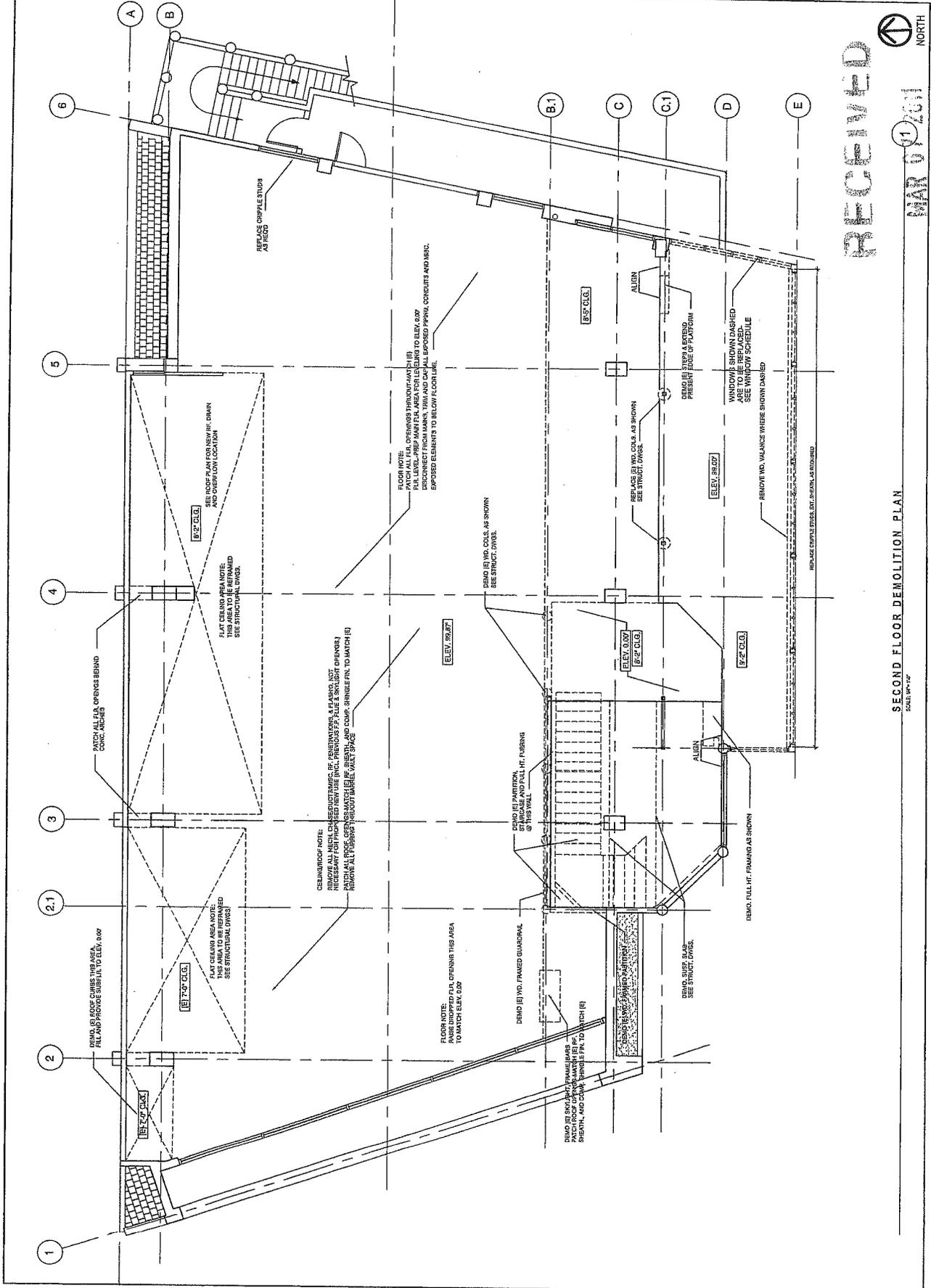
ISSUANCE	DATE	BY	REVISION
1	04/11/11	MR. CHRIS HENRY	OWNER
2	04/11/11	MR. CHRIS HENRY	OWNER
3	04/11/11	MR. CHRIS HENRY	OWNER
4	04/11/11	MR. CHRIS HENRY	OWNER
5	04/11/11	MR. CHRIS HENRY	OWNER
6	04/11/11	MR. CHRIS HENRY	OWNER

OWNER: MR. CHRIS HENRY  
 660 BRIDGEWAY SAUSALITO, CA  
 NEW RESTAURANT | BAR  
 APRIL 08, 2011

EXISTING GROUND FLOOR PLAN  
 SCALE: AS SHOWN  
 SHEET: A0.1



CITY OF SAUSALITO  
 COMMUNITY DEVELOPMENT DEPT.

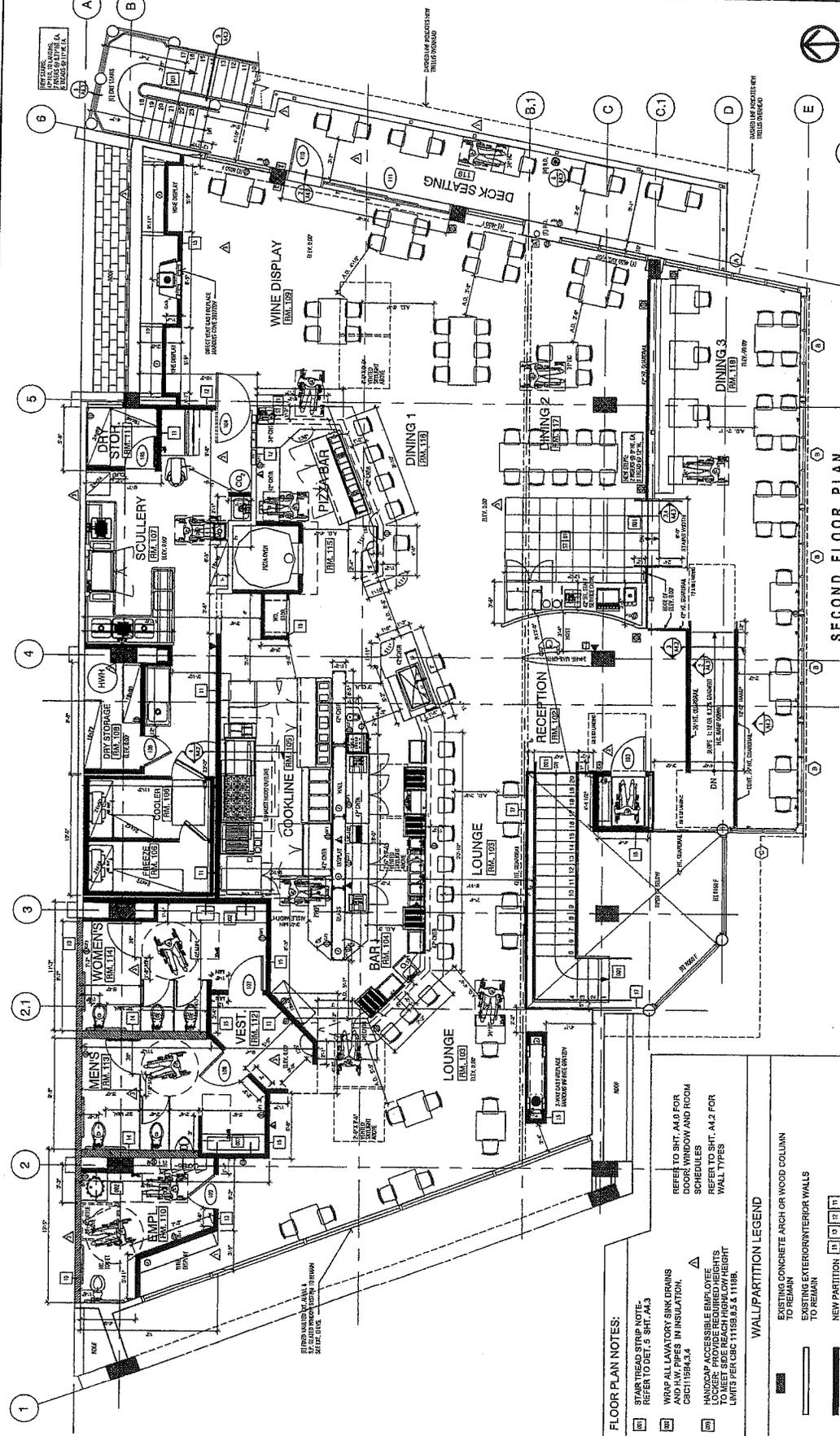


**RECEIVED**  
 MAR 01 2012  
 NORTH

SECOND FLOOR DEMOLITION PLAN  
 SCALE 1/8" = 1'-0"

CITY OF SAUSALITO  
 COMMUNITY DEVELOPMENT DEPARTMENT





**FLOOR PLAN NOTES:**

- 1) START/END STRIP NOTE. REFER TO DET. 5, SHT. A4.3
- 2) USE ALL LAVATORY SINK DRAINS AND ALL SINKS IN INSULATION. CH21118A3.4
- 3) HANG ALL ACCESSIBLE EMPLOYEE LOCKERS ACCORDING TO MEET SIDE REACH HIGH/LOW HEIGHT LIMITS PER USC 11189.9.5 & 11189.

**WALL PARTITION LEGEND**

- EXISTING CONCRETE ARCH OR WOOD COLUMN TO REMAIN
- EXISTING EXTERIOR/INTERIOR WALLS TO REMAIN
- NEW PARTITION
- PLUMBING WALL
- EXTERIOR WALL TO BE RESTORED
- ONE-HOUR FIRE-RATED WALL
- WALK-IN COOLER/FREEZER ENCLOSURE BY OTHERS
- DRYROT CONDITION-S.S.D.
- FIRE RATED FURRING

**SYMBOLS LEGEND**

- MAIN ELECTRICAL PANEL-S.E.D.
- ELECTRICAL SUBPANEL-S.E.D.
- SINGLE POLE SWITCH, WALL MOUNT AT 48" A.F.F.
- THREE-WAY SWITCH, WALL MOUNT AT 48" A.F.F.
- 110V DUPLEX RECEPTACLE GROUND FAULT INTERRUPTOR MOUNT AT 48" A.F.F. OR 6" ABOVE COUNTER TOP
- 110V DUPLEX RECEPTACLE MOUNT AT 48" A.F.F. MOUNT AT 48" A.F.F. BELOW WASH-BOR COUNTERS.
- 110V DUPLEX RECEPTACLE EXTERIOR WATER-PROOF
- 110V DUPLEX RECEPTACLE FLOOR MOUNT
- 110V JUNCTION BOX, MOUNT HEIGHT PER ARCH/LIGHT, DESIGNER
- TELEVISION CABLE JACK WALL MOUNT MOUNT PER INTERIOR ELEVATIONS
- TELEPHONE JACK WALL MOUNT GREATER AT 48" AFF
- HARD WIRED SMOKE DETECTOR W/BACK-UP BATTERY CEILING MOUNT, RECESS TO ARCH. FOR REVIEW PROVIDE SPECIFICATIONS TO ARCH. FOR REVIEW
- WALL MOUNT INTERNATIONAL SYMBOL OF ACCESSIBILITY PER CBC SECTION 11173.8.1.2 REFER TO SHT. A1.0 FOR DETAIL
- TACTILE EXIT SIGN-SEE DET. 2A4.1 FOR MOUNTING
- ILLUMINATED EXIT SIGN MOUNTED PER CODE W/BATTERY BACK-UP, MOUNT PER GUIDELINES ON DET. 2A4.1
- SURFACE MOUNTED EMERGENCY EGRESS LIGHTING OCCUPANT LOCK-UP
- SMOKE DETECTOR MOUNT PER DET. 2A4.1
- FAU THERMOSTAT WALL MOUNT AT 48" AFF
- GAS VALVE FOR ELECTR. FIREPLACE
- CW HOSE BIB
- DECK DRAIN

**WALL PARTITION LEGEND**

- EXISTING CONCRETE ARCH OR WOOD COLUMN TO REMAIN
- EXISTING EXTERIOR/INTERIOR WALLS TO REMAIN
- NEW PARTITION
- PLUMBING WALL
- EXTERIOR WALL TO BE RESTORED
- ONE-HOUR FIRE-RATED WALL
- WALK-IN COOLER/FREEZER ENCLOSURE BY OTHERS
- DRYROT CONDITION-S.S.D.
- FIRE RATED FURRING

**SYMBOLS LEGEND**

- MAIN ELECTRICAL PANEL-S.E.D.
- ELECTRICAL SUBPANEL-S.E.D.
- SINGLE POLE SWITCH, WALL MOUNT AT 48" A.F.F.
- THREE-WAY SWITCH, WALL MOUNT AT 48" A.F.F.
- 110V DUPLEX RECEPTACLE GROUND FAULT INTERRUPTOR MOUNT AT 48" A.F.F. OR 6" ABOVE COUNTER TOP
- 110V DUPLEX RECEPTACLE MOUNT AT 48" A.F.F. MOUNT AT 48" A.F.F. BELOW WASH-BOR COUNTERS.
- 110V DUPLEX RECEPTACLE EXTERIOR WATER-PROOF
- 110V DUPLEX RECEPTACLE FLOOR MOUNT
- 110V JUNCTION BOX, MOUNT HEIGHT PER ARCH/LIGHT, DESIGNER
- TELEVISION CABLE JACK WALL MOUNT MOUNT PER INTERIOR ELEVATIONS
- TELEPHONE JACK WALL MOUNT GREATER AT 48" AFF
- HARD WIRED SMOKE DETECTOR W/BACK-UP BATTERY CEILING MOUNT, RECESS TO ARCH. FOR REVIEW PROVIDE SPECIFICATIONS TO ARCH. FOR REVIEW
- WALL MOUNT INTERNATIONAL SYMBOL OF ACCESSIBILITY PER CBC SECTION 11173.8.1.2 REFER TO SHT. A1.0 FOR DETAIL
- TACTILE EXIT SIGN-SEE DET. 2A4.1 FOR MOUNTING
- ILLUMINATED EXIT SIGN MOUNTED PER CODE W/BATTERY BACK-UP, MOUNT PER GUIDELINES ON DET. 2A4.1
- SURFACE MOUNTED EMERGENCY EGRESS LIGHTING OCCUPANT LOCK-UP
- SMOKE DETECTOR MOUNT PER DET. 2A4.1
- FAU THERMOSTAT WALL MOUNT AT 48" AFF
- GAS VALVE FOR ELECTR. FIREPLACE
- CW HOSE BIB
- DECK DRAIN



dssany |lora  
 ARCHITECT  
 1000 S. BAY  
 SAN FRANCISCO, CA 94109  
 TEL: 415.774.1111  
 FAX: 415.774.1112

NO.	DATE	COMMENTS

NO. DATE COMMENTS  
 01/24/11 RFP WORK  
 02/11/11 RFP WORK  
 03/11/11 RFP WORK

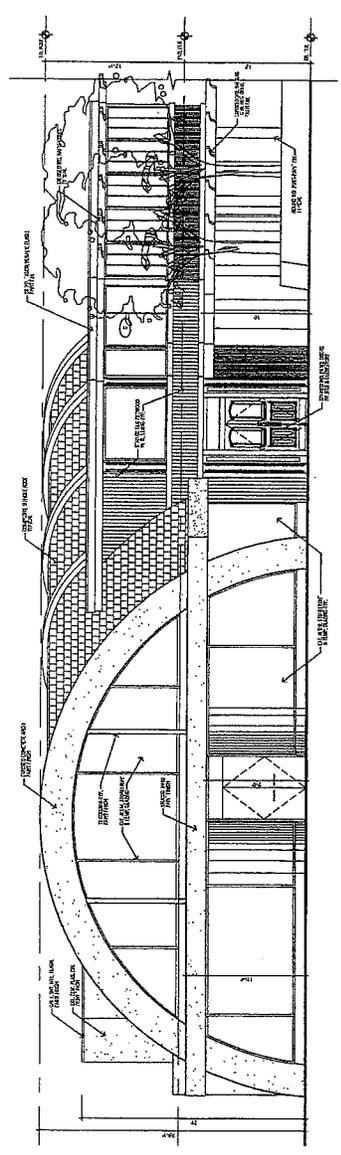
OWNER: MR. CHRIS HENRY  
 NEW RESTAURANT | BAR  
 680 BRIDGEWAY SAUSALITO, CA

DATE: 08/21/12  
 TIME: 12:00 PM

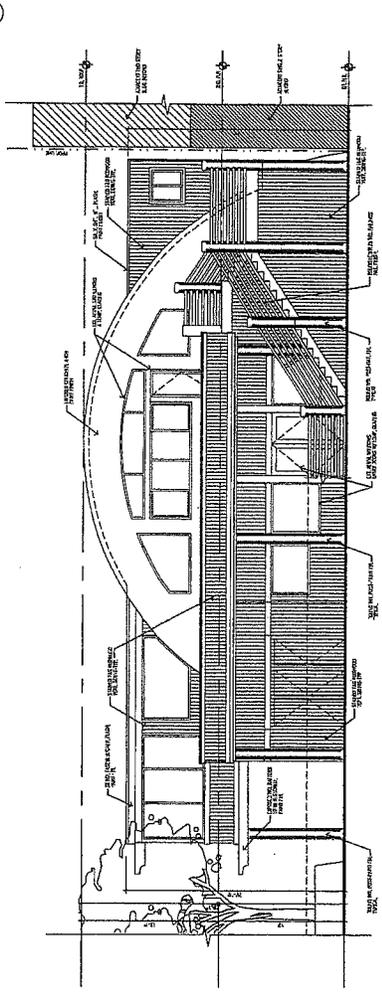
EXISTING ELEVATIONS

NO.	DATE	DESCRIPTION

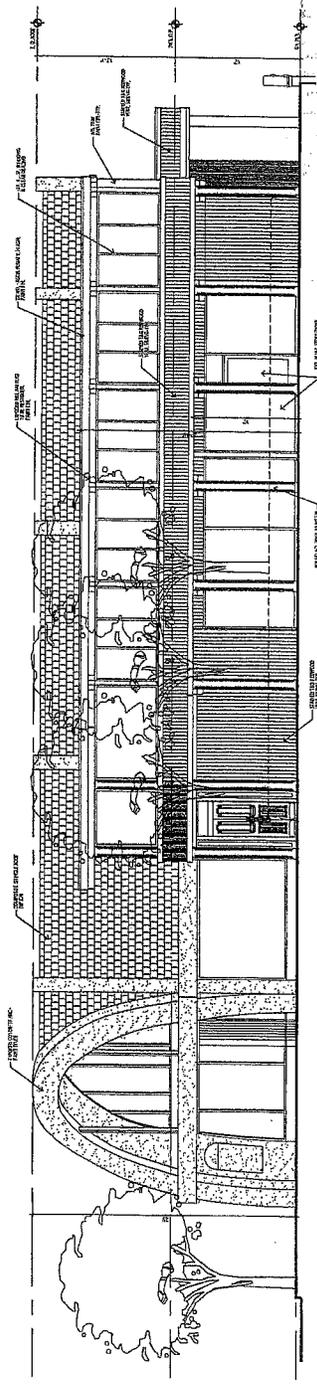
A2.0  
 SHEET



WEST (BRIDGEWAY) ELEVATION



EAST ELEVATION



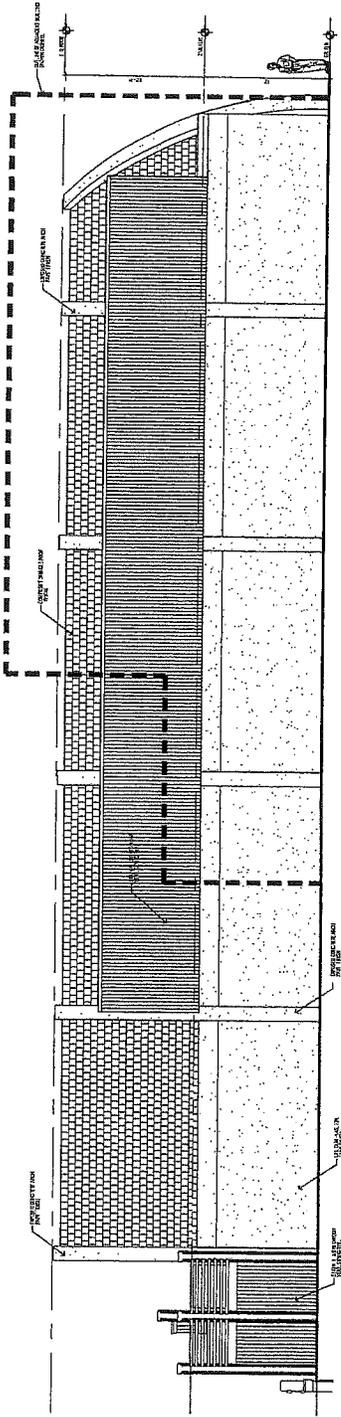
SOUTH ELEVATION

PROJECT NO.	1000000000
DATE	03/07/11
SCALE	AS SHOWN
DRAWN BY	...
CHECKED BY	...
DATE	...

OWNER: MR. CHRIS HENRY  
 NEW RESTAURANT | BAR  
 660 BRIDGEWAY SAUSALITO, CA

EXISTING  
 NORTH ELEVATION

DATE: 03/07/11  
 SCALE: AS SHOWN  
 DRAWN BY: ...  
 CHECKED BY: ...  
 SHEET NO. A2.1



NORTH ELEVATION

1

RECEIVED

MAR 07 2011

CITY OF SAUSALITO  
 COMMUNITY DEVELOPMENT DEPARTMENT

ATTACHMENT 1 PAGE 65



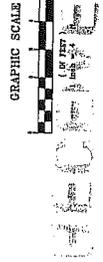


Sheet	1
Date: 02/03/11	
Scale: 1"=4'	
Job #: 11008	

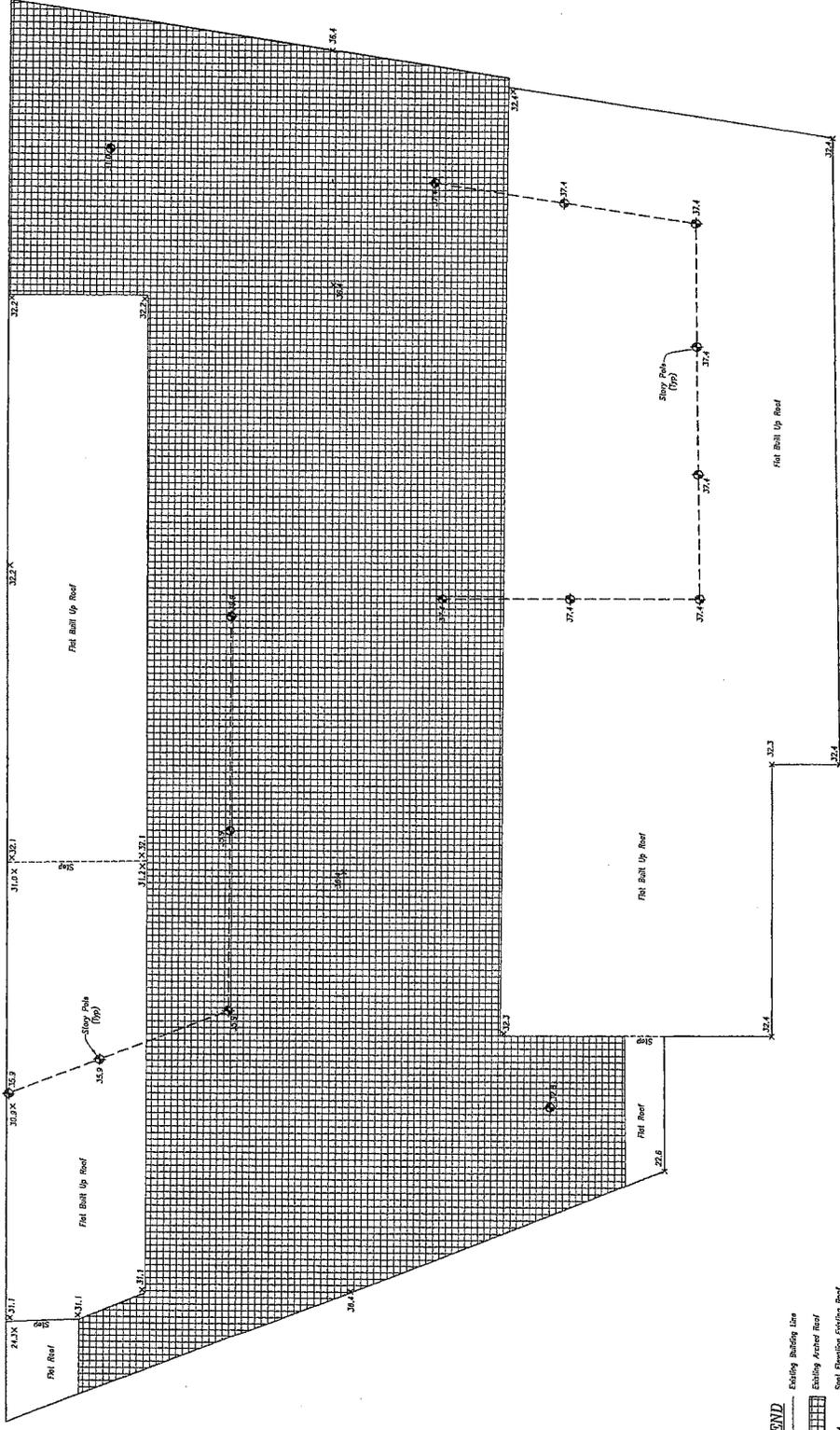
TY HAWKINS LS 7973  
 6636 Oak Canyon Ln.  
 YACAVILLE Ca. 95688  
 (707) 974-9890



OWNER: CHRIS HENRY  
 SAUSALITO CALIFORNIA  
 NEW RESTAURANT  
 660 BRIDGEWAY



PRELIMINARY  
 DRAFT



**LEGEND**  
 Existing Building Line  
 Existing Anchor Roof  
 Spot Elevation Existing Roof  
 Top of Story Pole Elevation

**BENCHMARK**  
 Benchmarks shown on this sheet are based on the 1985 benchmark 241  
 6604 Tiber St (PO BOX 117074), a brass disk located 20' 10.35" at the  
 Southeast side of the city well, in the top of the South corner of the  
 property. The benchmark is a 1985 benchmark. The benchmark  
 monument elevation is on 1602 feet MVD 88 datum.

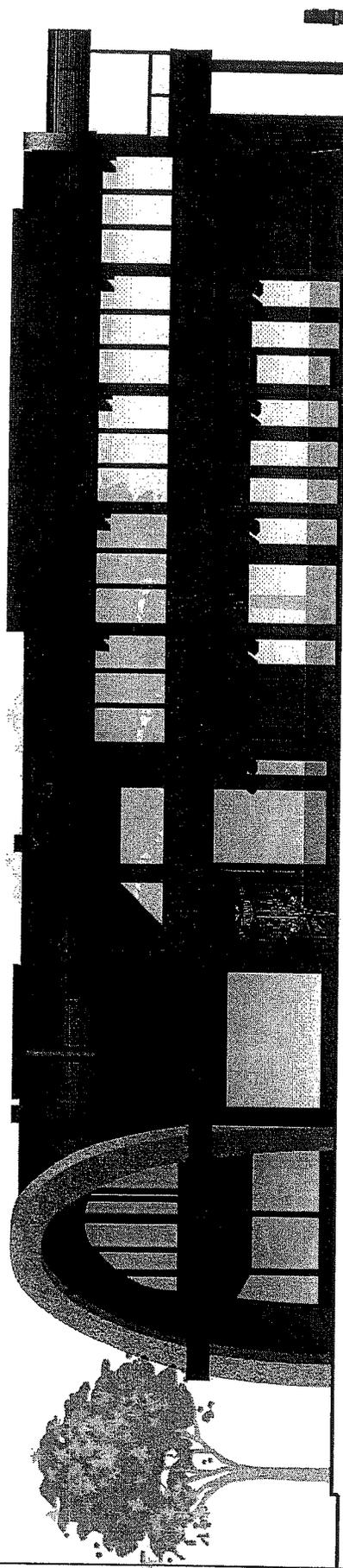
**NOTE:**  
 Elevation shown above called the position of the proposed structure as  
 shown on the proposed floor plan. Sheet title prepared by colored data.

RECORDED  
 MAR 07 2011  
 CITY OF SAUSALITO  
 RECORDS & COMMUNITY DEVELOPMENT

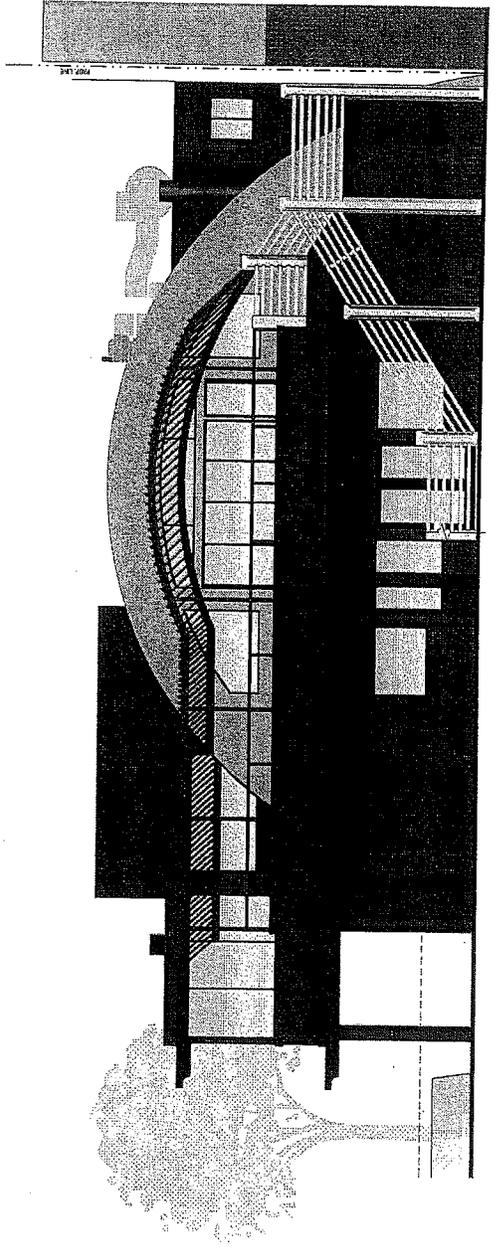
CITY OF SAUSALITO  
COMMUNITY DEVELOPMENT DEPARTMENT

RECEIVED  
MAR 07 2011

SOUTH ELEVATION



EAST ELEVATION



OF SHEETS

A3.2

FILE	
DATE	
SCALE	AS NOTED
PROJECT NO.	
DRAWN BY	
CHECKED BY	

EAST & SOUTH ELEVATION  
RENDERINGS

NEW RESTAURANT | BAR  
660 BRIDGEWAY SAUSALITO, CA  
OWNER: MR. CHRIS HENRY

NO.	DATE	COMMENTS
1	10.10.10	ISSUE NUMBER

disney lora  
ARCHITECTS  
1000 CALIFORNIA STREET  
SAN FRANCISCO, CA 94109  
415.774.8888

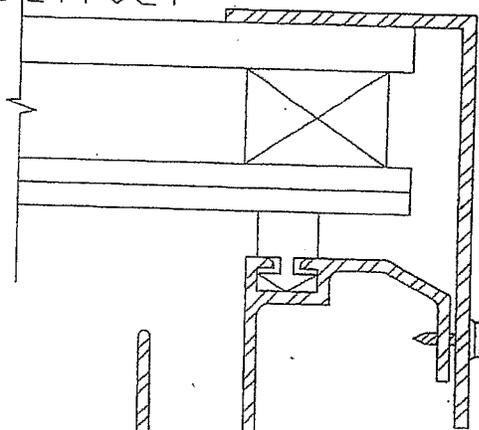
old bridge way skylight

RECEIVED

JAN 20 2011

CITY OF SAUSALITO  
COMMUNITY DEVELOPMENT DEPT

A  
Low Profile  
Modular Dimension  
Center to Center  
of Curb



2 3/4"

D  
3.0000  
Flange to Flange

C  
Outside Curb

B  
Inside Curb

1.7500

0.7505

0.6250 1.5000

Skylight and Sun  
Robert Singer  
510-841-2323

disseny llora

RECEIVED

February 10, 2012  
City of Sausalito  
420 Litho Street Sausalito, CA 94965  
Attention: Ms. Lilly Schinsing  
Re: 660 Bridgeway (DRISP 11-332)

FEB 15 2012  
CITY OF SAUSALITO  
COMMUNITY DEVELOPMENT

Project revision: Description Letter

1. Change design of double entry doors on Bridgeway to a more contemporary and geometric style, by metal craftsman to be fabricated out of bronze, metal and tempered glass.
2. Extend entire second floor outdoor deck east approximately 12" for a total deck width of 7'-8". Deck and Trellis finishes to remain as previously designed. New metal trellis to also extend 12" East to compensate for deck extension. There will be no increase in seating count, tables or chairs.
3. Change design of Deck guardrail to glass panels with metal support posts thruout. Increase in Bay/water visibility and light for restaurant patrons and deck users.
4. South mechanical screen: north/south leg to shift westward 6'-0" to accommodate new skylight as per No. 9 below. Length and finish to remain as previously approved. North mechanical screen: no change.
5. Revise the new exterior colors to complement the adjacent trees to the South and between the project site and existing plaza.
6. Apply cementitious skim coat on rear or east facing arch and wall only and finish with a natural concrete color to match Bridgeway facing arch. (See postcard). Front arch to remain as is with new paint finish. No work to be done on intermediate arches visible on barrel vault roof section.
7. Replace all roofing to comply with current building and fire codes for commercial structure.
8. Relocate previously approved fireplace back to where the original fire pit existed on axis with centerline of barrel vault roof. No flue or venting will be visible as the fireplace will be fired by denatured alcohol.
9. New 'Barrel House' signage for double entry doors described in No. 1 above, over plaster band on building front (East Elevation/Bridgeway) over entrance to ground floor tenant spaces, and over flat roof fascia on Elevation facing south.
10. Install 30"x 60" skylight above reception area at top of main entry stairs, to match three previously approved skylights in finish, non-reflective glass and profile.
11. Owner to install one BCDC 'public shore' sign at East wall of lower level adjacent to boardwalk area. Owner also to install one public bench along East wall of building for public use.

Thank you;



Eduard Llorca  
Disseny Llorca

EXHIBIT H  
(1 PAGE)

BLANK