

STAFF REPORT

SAUSALITO PLANNING COMMISSION/HISTORIC LANDMARKS BOARD

Project Barrel House/660 Bridgeway
Design Review Permit
Amendment of DR 11-332

Meeting Date October 17, 2012

Staff Lilly Schinsing, Associate Planner 

REQUEST

Amendment of a previously-approved Design Review Permit regarding modifications to the approved mechanical equipment, screens, and addition of new planters at 660 Bridgeway.

PROJECT INFORMATION

Applicant Chris Henry

Property Owners Chris Henry, William Henry, Wynona Henry

Location/Size 660 Bridgeway; APN 065-133-25;
6,424 square feet (see **Exhibit A** for vicinity map)

General Plan Central Commercial

Zoning Central Commercial (CC) District
Downtown Historic Overlay District

Authority A Design Review Permit is required for any exterior renovation, modification, or remodeling of any structure located within a City-designated historic district per Section 10.54.050.B.11 and Historic Design Review per Section 10.46.060 of the Zoning Ordinance.

CEQA: The restoration or rehabilitation or reconstruction of historic resources is Categorically Exempt from the California Environmental Quality Act (CEQA), in accordance with Section 15331 of the CEQA Guidelines. The project involves the rehabilitation and addition to a contributing building in the Downtown Historic Overlay District in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties, which qualifies the project for a Categorical Exemption. Additionally, the permitting of existing structures involving negligible or no expansion of use is Categorically Exempt from CEQA, in accordance with Section 15301 of the CEQA Guidelines.

ROLE OF THE HISTORIC LANDMARKS BOARD AND PLANNING COMMISSION

The review involves an amendment of a previously-approved Design Review Permit for the exterior modifications for the building. Since the project is located in the Downtown Historic Overlay Zoning District, the Design Review Permit is under the authority of both the Planning Commission and the Historic Landmarks Board (HLB), and a joint hearing is required to review and act upon the Design Review Permit. As stated in Section 10.46.060, both the Planning Commission and the HLB have the

authority to review the Design Review Permit, and must favorably make the findings listed in Section 10.54.050.D to approve the Design Review Permit amendments.

PROJECT DESCRIPTION

BACKGROUND

The Sausalito Land & Ferry Company real estate offices were constructed in 1902 at the subject site, and the upper floor was used for Sausalito's first public library. The structure was later demolished and replaced by the Purity Market building in approximately 1935. The building is listed in the California State Office of Historic Preservation's *National Register Status Codes* as determined to be eligible for listing as a contributor building to the Downtown Historic District.

PROJECT HISTORY

On March 16, 2011 the Planning Commission and Historic Landmarks Board approved a Design Review Permit for renovations associated by the establishment of a restaurant, bakery and bar on the upper level of the building (see **Exhibit H** for Planning Commission Resolution No. 2011-05). On February 22, 2012 the Planning Commission and Historic Landmarks Board approved amendments to the Design Review Permit modify the entry doors, extension of a second level outdoor deck, shifting of a rooftop mechanical screen, addition of a new skylight and revised exterior colors, and a Sign Permit to allow new business identification signage for the Barrel House restaurant (see **Exhibit I** for Planning Commission Resolution No. 2012-04)

PROJECT DESCRIPTION

The proposed project consists of the following changes to the rooftop equipment as shown in the project plans (see **Exhibit C** for plans and **Exhibit D** for a project description letter):

- ✓ Shift southeastern ductwork due to clearance issues.
- ✓ Extend southern rooftop screen on rooftop to completely hide the new ductwork.
- ✓ Adjust the northwest ductwork as there was no clearance to run the ducting through the concrete columns.
- ✓ Shift northwest screen 10 feet closer to the front of the building to screen the new ductwork
- ✓ Add the downstairs condenser unit on the rooftop (inadvertently left off the plan).
- ✓ Add new planters on rooftop to screen the dishwasher exhaust and downstairs condenser unit from the office building at 666 Bridgeway.
- ✓ Raise pizza vent hood on rooftop by 12 inches.

The Historic Landmarks Board conducted study session reviews of the proposed project on September 26, October 1, October 4 and October 9, 2012 and recommended (with conditions) that the project be considered at a joint Planning Commission and Historic Landmarks Board meeting.

PROJECT ANALYSIS

General Plan Consistency

To approve the proposed project the Planning Commission and HLB must determine that the project is consistent with all applicable General Plan policies. The site is located in an area designated as Central Commercial by the General Plan. The following policies and objective relevant to the project are as follows:

- ✓ *Policy LU-2.0 Promote and Enhance Commercial Economic Diversity. Promote and enhance economic viability of all commercial areas throughout the City, while continuing to recognize residential needs, by establishing distinct commercial districts that preserve the variety of uses serving residents and visitors.*

- ✓ *Policy LU-2.9. Downtown Historic Character: Protect the historical character of the Downtown area.*

The project consists of design elements, such as modifications to the rooftop screens, addition of new rooftop equipment and movable planters which will not alter any significant design characteristics or character defining features associated with the building. Therefore, staff suggests the project will neither significantly alter the appearance on the building, nor have an adverse impact on the historical character of the downtown area. Additionally, the project is designed to enhance the existing uses of the site as a retail/restaurant facility. Therefore the enhancement of the building will attract customers and promote the establishment's economic viability as a local business that serves local residents, visitors, and workers in Sausalito.

Zoning Consistency

The Project Summary Table below compares the development standards of the applicable zoning district to the proposed design. The table shows that the design conforms to the zoning standards and meets the minimum code requirements of the Zoning Ordinance and, with the approval of the appropriate permits, meets the allowable use requirements for the CC Zoning District.

Project Summary Table

Item	Existing	Required	Approved 3/16/11	Approved 2/22/12	Proposed 10/17/12	Compliance
Parcel Area:	6,424 sq. ft.	5,000 square feet	No change	No change	No change	Yes
Land Use:	Vacant	Retail and service businesses	Restaurant and Bar with outdoor seating on private property	No change	No change	Yes
Floor Area:	7,562 sq. ft (1.2 FAR)	8351 sf max (1.3 max FAR)	No Change	No Change	No Change	Yes
Height	25'-1"	32'	26'	No change	No change	Yes
Building Coverage:	5,992 sq. ft.	6,424 sf max (100% max building coverage)	No Change	No Change ¹	No Change	Yes
Off-street Parking:	0 spaces	Total Required Parking: 46 spaces	0 spaces	No change	No change	Yes

Historic Overlay Zoning District Consistency

To approve the proposed project, the Planning Commission and HLB must determine that the project is consistent with all applicable Historic Overlay District regulations. Staff concludes that the project is consistent with the purpose and intent of the Downtown Historic Overlay Zoning District (Section 10.28.040.A) as described in the findings listed in the draft Resolution (see **Exhibit B,H, and I**).

¹ Deck extension covers area already counted as building coverage

Design Review Permit

As stated previously, the Planning Commission and Historic Landmarks Board have previously approved a Design Review Permit (Resolution No. 2011-05) and modifications to the Design Review Permit (Resolution No. 2012-04) allowing the rehabilitation of the existing building in conjunction with the establishment of a new use as a restaurant, bakery and bar. The prior Design Review Permit continues to be valid provided the Conditions of Approval are met.

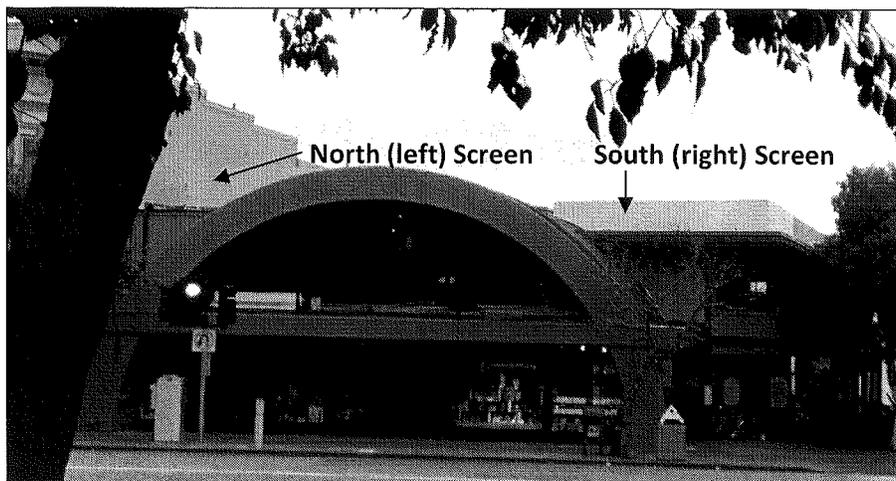
The project applicant is requesting the modification of the ductwork on the roof due to installation issues experienced during construction, the extension of screening panels to hide the ductwork, the installation of mechanical equipment inadvertently left off the plans during the design review phase, the raising of a venting hood to meet building code requirements and the installation of movable planters to mitigate the visual impact to the neighboring office building at 666 Bridgeway.

Movable Planters

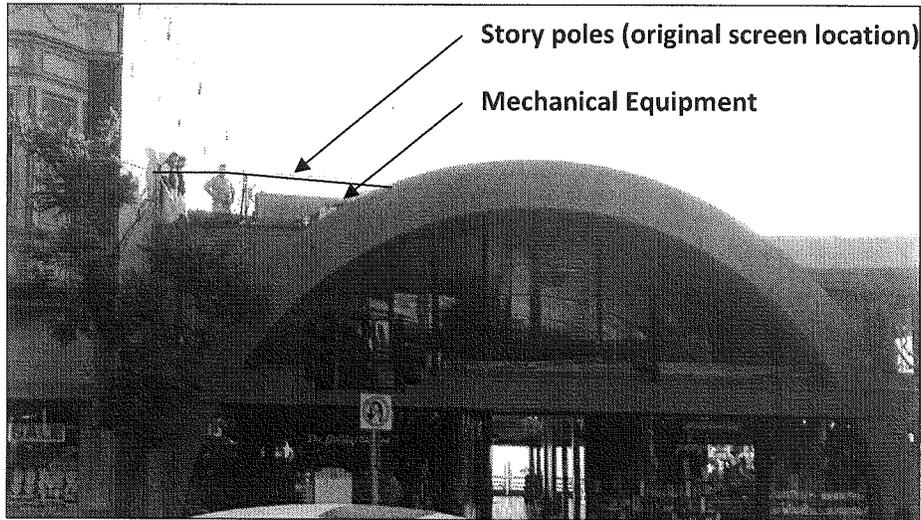
In August 2012 Don Olsen contacted staff regarding the visual impact to the office building at 666 Bridgeway caused by mechanical equipment (see **Exhibit D** for photographs). Mr. Olsen worked with the applicant to design movable planter which would be installed to mitigate the visual impact from the mechanical equipment. See **Exhibit C** for the project plans and **Exhibit F** for specifications of the planters.

Northern Screens

The applicant is requesting the extension of the northern screen (leftmost screen when viewed from the front of the building from Bridgeway) to be flush with the face of the building. During the Historic Landmarks Board site visits on October 1 and October 4 the HLB discussed the positioning of this particular screen. The concern was that due to its position much closer to the street than the south (right) screen, the north (left) screen seemed much taller and out of proportion with the building.

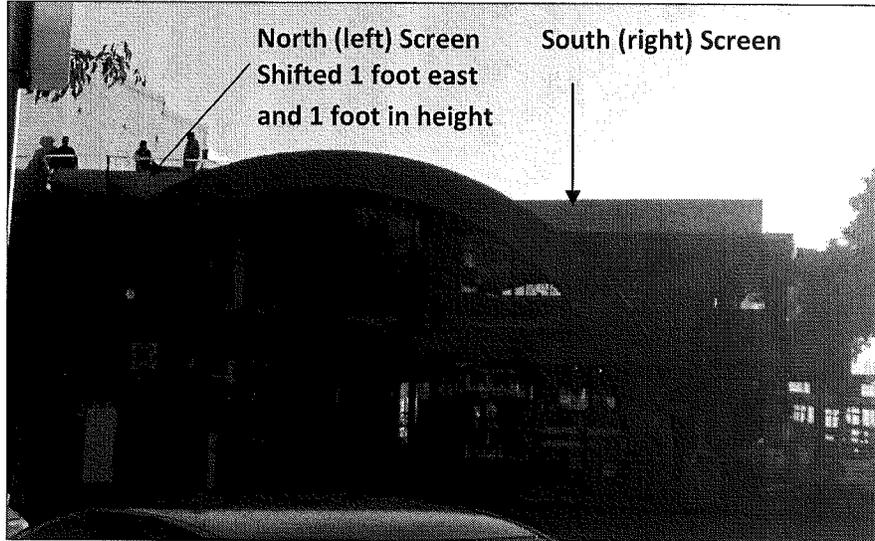


Mock-up screens as seen on October 4, 2012



Building without North (left) screen (with the original screen location)

During the final site visit on October 9 the HLB was able to view a mock up of the north (left) screen set back one foot and reduced in height by one foot. The HLB was also able to view the existing mechanical equipment without a screen. The HLB members stated that the repositioning made the two screens seem more symmetrical and adequately provided the necessary screening of the equipment. The HLB gave direction to the applicant to provide a revised elevation and site plan showing the screen shifted to the east one foot and reduced in height by one foot (see **Exhibit G**).



With Mock-up screens (north shifted per HLB direction) and original story-poles as seen on October 9, 2012

Staff is in support of the revisions to the screen and appropriate conditions of approval have been added to the draft resolution.

In order to approve or conditionally approve the modified Design Review Permit, the Planning Commission and HLB must determine that the project is in conformance with the findings listed in Section 10.54.050 (Design Review Findings) of the Zoning Ordinance, which includes the Historic Design Guidelines.

The following policies of the Historic Design Guidelines are relevant to the project:

- ✓ Additions to Commercial Properties, Policies 2.11, 2.12 and 2.13 (Page 16)
- ✓ Paint, Policies 2.52 and 2.53 (Page 32)

The Historic Design Guidelines provides guidance to ensure that changes to the Downtown Historic Overlay Zoning District's built environment will be sensitive to the community's historical legacy. Upon review of the Historic Design Guidelines relative to the project, the project is consistent with the Additions to Commercial Properties and Paint policies.

Staff concludes the project is generally consistent with the requisite findings for the Design Review Permit can be made to approve the permit, as summarized in the findings listed in the draft Resolution (**Exhibits B,H, and I**).

PUBLIC NOTICE AND CORRESPONDENCE

On October 4, 2012 public hearing notices were mailed to all property owners and occupants within 300 feet of the project site. As of the writing of the staff report, the City has not received any comments.

RECOMMENDATION

Staff recommends the Planning Commission and Historic Landmarks Board approve the attached draft resolution (**Exhibit B**) approving a Design Review Permit for rooftop modifications, including modifications to the approved mechanical equipment, screens, and new planters at 660 Bridgeway.

Alternatively, the Planning Commission and Historic Landmarks Board may:

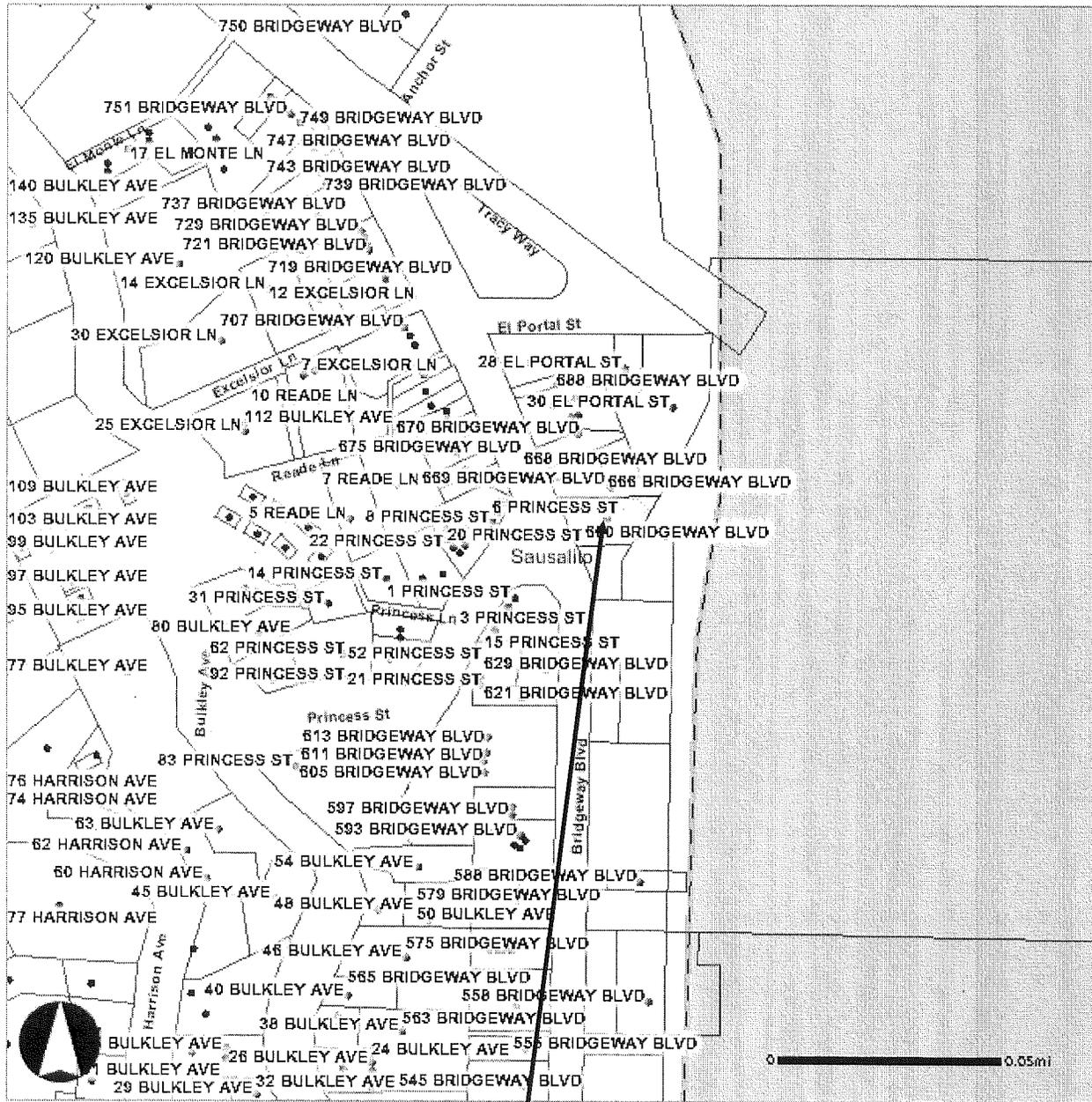
- Continue the hearing for additional information and/or project revisions; or
- Direct staff to prepare a resolution for denial of the Design Review Permit.

EXHIBITS

- A. Vicinity Map
- B. Draft Resolution
- C. Project Plans, date stamped October 10, 2012
- D. Applicant's Project Description Letter, date stamped September 17, 2012
- E. Photographs of Mechanical Equipment and Mock-up Planters
- F. Planter Specifications, date stamped October 11, 2012
- G. Revised Sheets A1.1, A2.1, A2.3, date stamped October 11, 2012
- H. Planning Commission and Historic Landmarks Board Resolution 2011-05
- I. Planning Commission and Historic Landmarks Board Resolution 2012-04

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VICINITY MAP



660 Bridgeway

EXHIBIT A
(1 PAGE)

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**SAUSALITO PLANNING COMMISSION AND HISTORIC LANDMARKS BOARD
RESOLUTION NO. 2012-XX**

**RESOLUTION APPROVING AN AMENDMENT OF A DESIGN REVIEW PERMIT FOR
THE BUILDING LOCATED AT 660 BRIDGEWAY
DR 11-332**

WHEREAS, the Planning Commission and the Historic Landmarks Board adopted Resolution No. 2011-05 on March 16, 2011 approving a Design Review Permit (DR 10-384) for the rehabilitation of the existing building at 660 Bridgeway in conjunction with the establishment of a new use as a restaurant, bakery and bar; and

WHEREAS, the Planning Commission and the Historic Landmarks Board adopted Resolution No. 2012-04 on February 22, 2012 approving an amendment of the Design Review Permit (DR 10-384) for modifications to the approved entry doors, extension of a second level outdoor deck, shifting of a rooftop mechanical screen, addition of a new skylight and revised exterior colors and a Sign Permit for new business identification signage for the Barrel House restaurant at 660 Bridgeway; and

WHEREAS, an application has been filed by applicant Eduard Llorca, on behalf of the property owners Chris Henry, William Henry and Wynona Henry requesting Planning Commission and Historic Landmarks Board approval of amendments of the previously-approved Design Review Permit (DR 10-384) to allow for rooftop modifications, including modifications to the approved mechanical equipment, screens, and new planters at 660 Bridgeway (APN 065-133-25);

WHEREAS, the project site is located within the Central Commercial General Plan Land Use Designation, Central Commercial Zoning District, and Downtown Historic Overlay Zoning District; and

WHEREAS, the Planning Commission and the Historic Landmarks Board conducted a duly-noticed public hearing on October 17, 2012 at which time all interested persons were given an opportunity to be heard; and

WHEREAS, the Planning Commission and the Historic Landmarks Board have reviewed and considered the information contained in the staff report as well as any and all oral and written testimony on the proposed project; and

WHEREAS, the Planning Commission and the Historic Landmarks Board have reviewed and considered the project plans titled "New Restaurant|Bar" and date-stamped October 10, 2012; and

WHEREAS, the Planning Commission and the Historic Landmarks Board find that the proposed project, as conditioned herein, is consistent with the General Plan and complies with the requirements of the Zoning Ordinance as described in the staff report; and

EXHIBIT B
(6 PAGES)

WHEREAS, approval of the project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301, Existing Facilities, which allows for minor alterations to an existing building and Section 15331, Historic Resource Restoration/Rehabilitation, which allows for the rehabilitation and addition to a contributing building in the Downtown Historic Overlay District in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

NOW, THEREFORE, THE PLANNING COMMISSION AND HISTORIC LANDMARKS BOARD HEREBY RESOLVE AS FOLLOWS:

1. The project is exempt from the requirements of CEQA pursuant to CEQA Guidelines Section 15301, Existing Facilities and Section 15331, Historic Resource Restoration/Rehabilitation.
2. Amendment of Design Review Permit DR 10-384 for modifications to a previously-approved Design Review Permit to allow for rooftop modifications, including modifications to the approved mechanical equipment, screens, and new planters is approved based upon the findings provided in Attachment 1, and subject to the conditions of approval provided in Attachment 2. The project plans, "New Restaurant|Bar" and date-stamped October 10, 2012, which supersede the plans titled "New Restaurant|Bar" and date-stamped February 14, 2012", are provided in Attachment 3.

RESOLUTION PASSED AND ADOPTED, at the regular meeting of the Planning Commission and Historic Landmarks Board on the ____ day of _____, 2012, by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Jeremy Graves, AICP
Secretary to the Planning Commission

AYES:
NOES:
ABSENT:
ABSTAIN:

Vicki Nichols
Secretary to the Historic Landmarks Board

Attachments:

- 1- Findings
- 2- Conditions of Approval
- 3- Project plans entitled "New Restaurant|Bar" and date-stamped October 10, 2012

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**PLANNING COMMISSION and HISTORIC LANDMARKS RESOLUTION
OCTOBER 17, 2012
DR 11-332
660 BRIDGEWAY**

ATTACHMENT 1: FINDINGS

DESIGN REVIEW FINDINGS

The Planning Commission and Historic Landmarks Board find that the modifications to the rooftop equipment and screens continue to comply with the findings in Zoning Ordinance Section 10.54 (Design Review Procedures), as listed in Planning Commission and Historic Landmarks Board Resolution Nos. 2011-05 and 2012-04.

HISTORIC OVERLAY DISTRICT FINDINGS

The Planning Commission and Historic Landmarks Board find that the modifications to the dining deck and parking deck continue to comply with the findings in Zoning Ordinance Section 10.46 (Historic Overlay District), as listed in Planning Commission and Historic Landmarks Board Resolution Nos. 2011-05 and 2012-04.

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PLANNING COMMISSION and HISTORIC LANDMARKS RESOLUTION
OCTOBER 17, 2012
DR 11-332
660 BRIDGEWAY

ATTACHMENT 2: CONDITIONS OF APPROVAL

These conditions of approval apply to the project plans and materials titled "New Restaurant|Bar" and date-stamped October 10, 2012, which, which supersede the plans titled "New Restaurant/Bar", date-stamped received February 14, 2012. All Conditions of Approval in Resolution Nos. 2011-05 and 2012-04 remain in effect.

General

1. Upon building permit submittal the Conditions of Approval in this Resolution and Planning Commission Resolution Nos. 2011-05 and 2012-04 shall be shown on all construction drawings.
2. Upon building permit submittal the applicant shall provide a written response demonstrating compliance with each Condition of Approval in this Resolution and Planning Commission Resolution Nos. 2011-05 and 2012-04.
3. The screen at the northwestern corner of the building shall be shifted to the east (away from Bridgeway) by one (1) foot and reduced in height by one (1) foot in accordance with the Sheets A1.1, A2.1, A2.3 date stamped October 11, 2012 and presented at the October 17, 2012 meeting.
4. All mechanical equipment and ducting on the roof shall be painted a color to match either the roofing material or the screens.

Advisory Notes

Advisory notes are provided to inform the applicant of Sausalito Municipal Code requirements, and requirements imposed by other agencies. These requirements include, but are not limited to, the items listed below.

5. The approval for the Design Review Permit will expire in two (2) years from the effective date of this resolution if the property owner has not exercised the entitlements hereby granted, or an extension has not been filed prior to the expiration date.
6. An approval granted by the Planning Commission does not constitute a building permit or authorization for construction. Appropriate construction permit(s) issued by the Building Division must be obtained prior to construction.
7. All applicable City fees as established by City Council resolutions and ordinances shall be paid. Third party review fees (cost plus 10%) shall be paid.
8. Pursuant to Municipal Code Chapter 3.36, Construction Traffic Road Fees shall be paid prior to issuance of a building permit.

9. An encroachment permit shall be obtained from the Department of Public Works prior to use of the public right-of-way for non-public purposes (e.g., materials storage, debris box storage) including any and all construction and demolition activities.
10. Pursuant to Municipal Code Chapter 8.54, applicants shall submit a Recycling Management Plan to the Community Development Department prior to the issuance of any construction permits, unless the requirement is waived pursuant to Section 8.54.050.
11. Pursuant to Municipal Code Chapter 11.17, dumping of residues from washing of painting tools, concrete trucks and pumps, rock, sand, dirt, agricultural waste, or any other materials discharged into the City storm drain system that is not composed entirely of storm water is prohibited. Liability for any such discharge shall be the responsibility of person(s) causing or responsible for the discharge. Violations constitute a misdemeanor in accordance with Section 11.17.060.B.
12. Pursuant to Municipal Code Section 12.16.140, the operation of construction, demolition, excavation, alteration, or repair devices and equipment within all residential zones and areas within a 500 foot radius of residential zones shall only take place during the following hours:
Weekdays – Between 8:00 a.m. and 6:00 p.m.
Saturdays – Between 9:00 a.m. and 5:00 p.m.
Sundays – Prohibited
City holidays (not including Sundays) – Between 9:00 a.m. and 7:00 p.m.
13. Pursuant to Municipal Code Section 18.12.100, existing sewer service laterals shall be inspected for surface water connections and leakage at the time of remodeling of any building. Deteriorated service laterals shall be repaired prior to approval of the building permit.
14. Permits required by other agencies having jurisdiction within the construction area must be obtained in accordance with the respective agency's regulations.
Marin Municipal Water District – (415-945-1400), including landscaping and irrigation regulations;
Southern Marin Fire Protection District -- (415-388-8182); and
Bay Conservation and Development Commission – (415-352-3600).
15. Pursuant to Municipal Code Section 10.54.100, construction activities undertaken in accordance with a design review permit shall comply with the construction time limit regulations based upon the project's valuation. Construction projects which are not completed within the time limits are subject to daily penalties.

PLANNING COMMISSION and HISTORIC LANDMARKS RESOLUTION
OCTOBER 17, 2012
DR 11-332
660 BRIDGEWAY

ATTACHMENT 3: PROJECT PLANS

disberry llora
 ARCHITECT
 1000 S. BAY
 SUITE 100
 SAN JOSE, CA 95128
 TEL: 415.778.1111
 WWW.DISBERYLLORA.COM

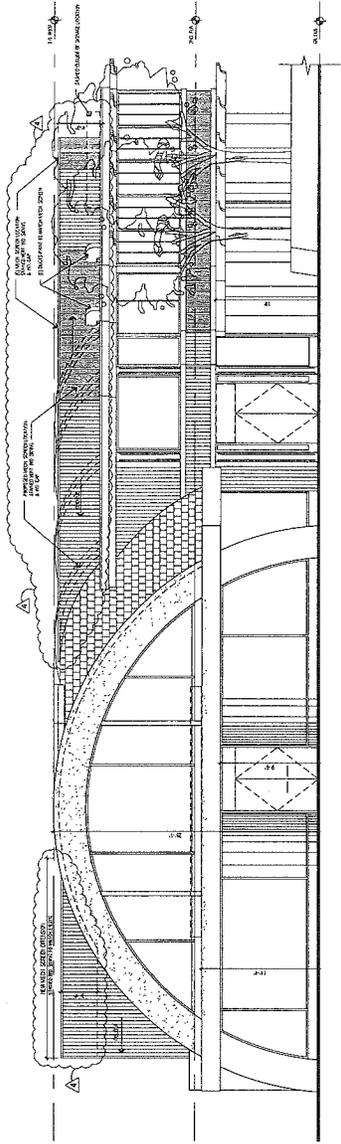
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5	01/09/2012	NS STUDY
6	01/09/2012	NS STUDY
7	01/09/2012	NS STUDY
8	01/09/2012	NS STUDY
9	01/09/2012	NS STUDY
10	01/09/2012	NS STUDY

OWNER: MR. CHRIS HENRY
 NEW RESTAURANT | BAR
 660 BRIDGEWAY SAUSALITO, CA

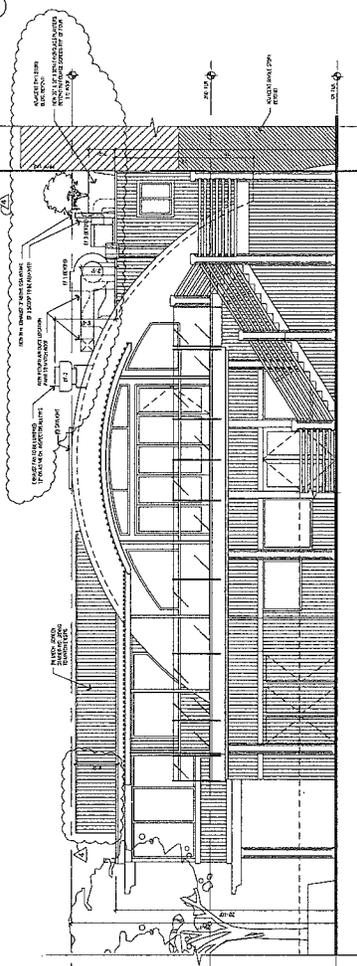
AS-BUILT PROPOSED
 EXTERIOR ELEVATIONS
 SCREEN SECTION

FILE	DATE	SCALE	PROJ. NO.	DRAWN	SHEET

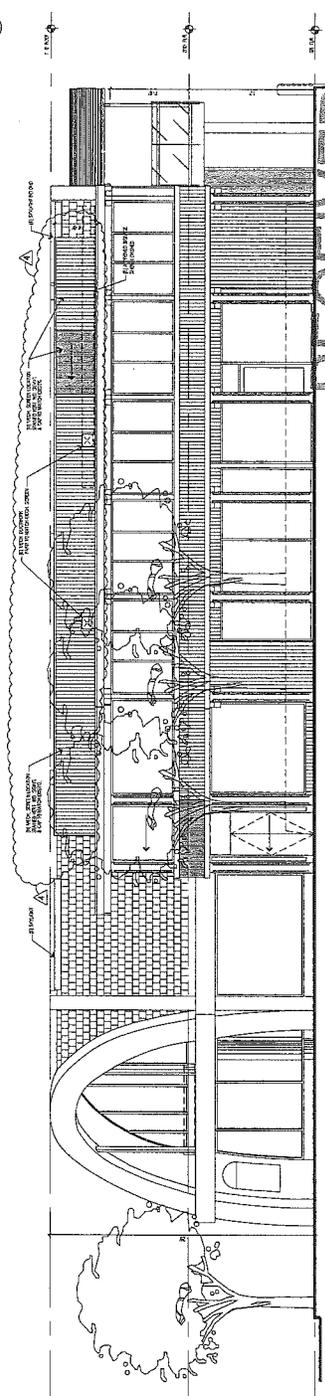
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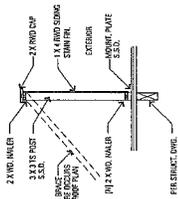
WEST (BRIDGEWAY) ELEVATION



EAST ELEVATION



SOUTH ELEVATION



EQUIPMENT SCREEN
 NOT TO SCALE

RECEIVED

OCT 10 2012

CITY OF SAUSALITO
 COMMUNITY DEVELOPMENT

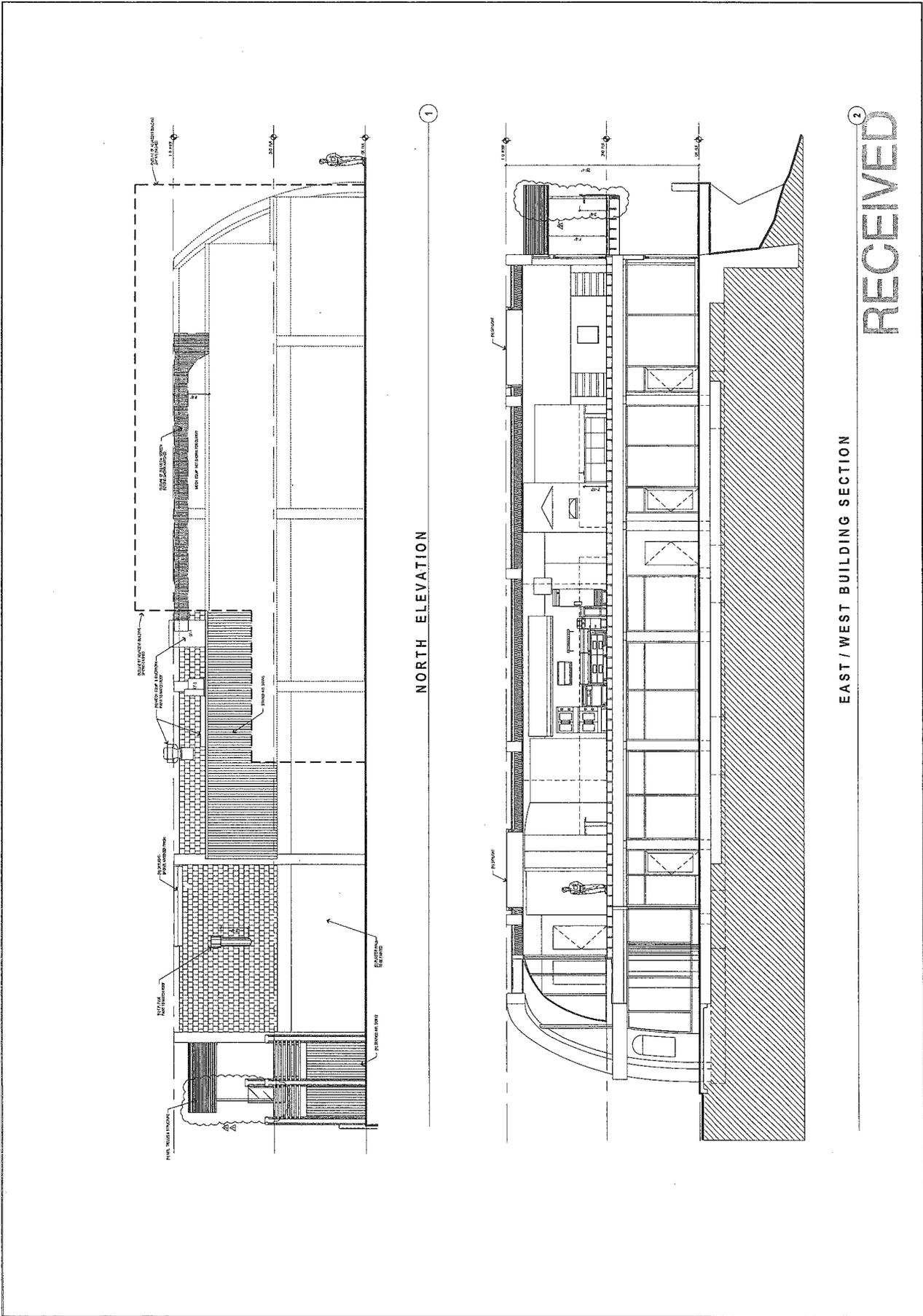
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NEW RESTAURANT | BAR
 660 BRIDGEWAY SAUSALITO, CA
 OWNER: MR. CHRIS HENRY

HLB/PLANNING APPROVED
 NORTH ELEVATION
 BUILDING SECTION

FILE #	DATE	SCALE	PROJECT NO.	DESIGNER	DATE
	08/15/12	AS NOTED			

A2.2
 SHEET 27



NORTH ELEVATION

EAST / WEST BUILDING SECTION

RECEIVED

OCT 10 2012
 CITY OF SAUSALITO
 COMMUNITY DEVELOPMENT

disney | flora
 CONSULTING ARCHITECTS
 1000 S. G ST. SUITE 100
 ANAHEIM, CA 92805
 PHONE: 714.771.1111
 WWW.DISNEYFLORA.COM

NO.	DATE	COMMENTS
1	10.10.2012	ISSUE FOR PERMITS
2	10.10.2012	REVISIONS
3	10.10.2012	REVISIONS
4	10.10.2012	REVISIONS
5	10.10.2012	REVISIONS

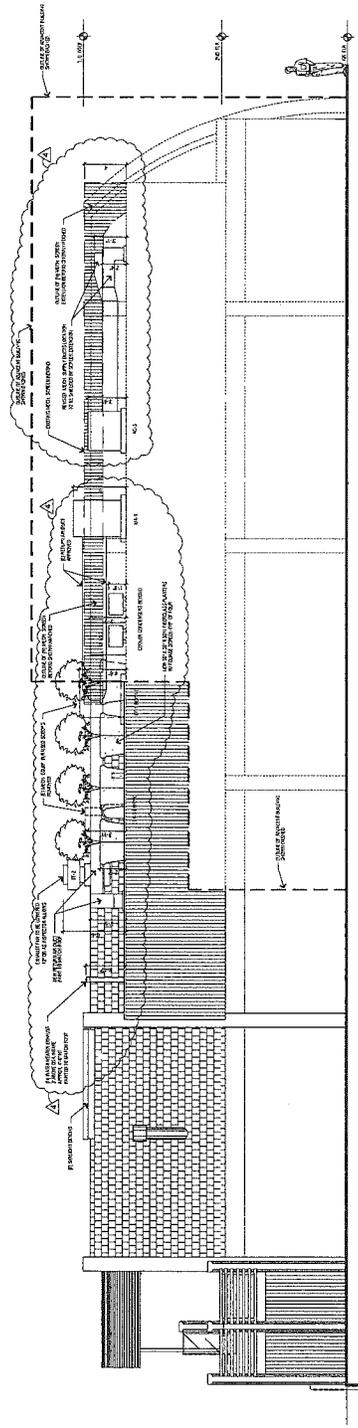
OWNER: MR. CHRIS HENRY
 NEW RESTAURANT | BAR
 660 BRIDGEWAY SAUSALITO, CA

AS-BUILT PROPOSED
 NORTH ELEVATION
 BUILDING SECTION

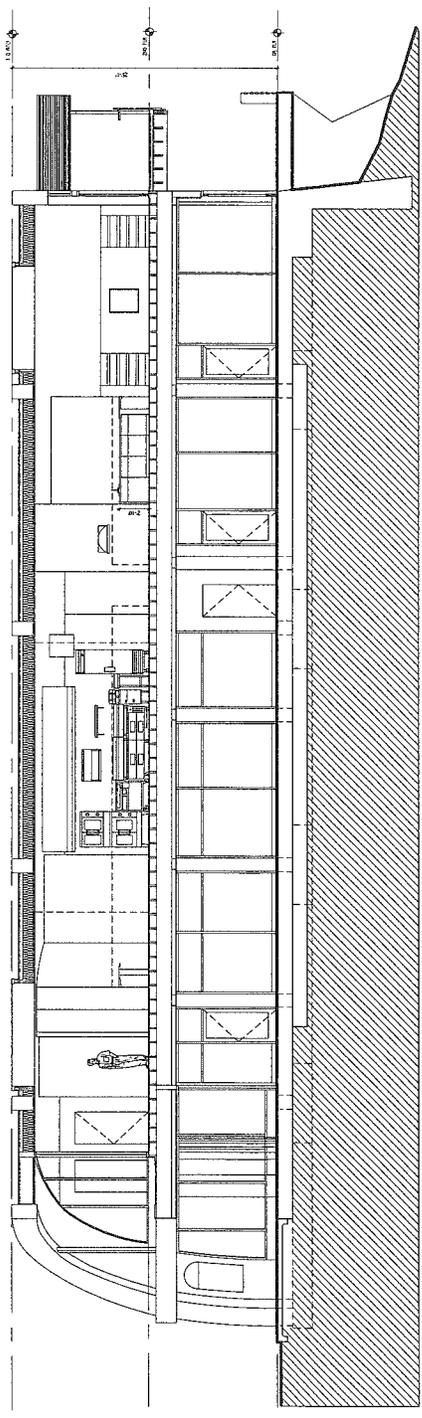
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BY	01.12.2012
CHKD.	01.12.2012
DATE	01.12.2012

A2.3

SHEET



NORTH ELEVATION



EAST / WEST BUILDING SECTION

RECEIVED

OCT 10 2012

CITY OF SAUSALITO
 COMMUNITY DEVELOPMENT

BLANK

RECEIVED

9/17/12

SEP 17 2012

Chris Henry
660 Bridgeway Blvd
Sausalito CA 94965

CITY OF SAUSALITO
COMMUNITY DEVELOPMENT

Lilly Schinsing
City of Sausalito Planning Dept.
420 Litho Street Sausalito CA 94965

RE: Request to adjust rooftop mechanical 660 Bridgeway Blvd.

Dear Lilly,

During the course of construction at 660 Bridgeway, we have noticed the actual construction conditions don't entirely match with the approved drawings so we are asking to adjust a few things as noted below. The good news is, the changes will make a better end product than what was approved and I have been working with my neighbor, Don Olsen and have come up with a plan that he tells me satisfies his concerns.

For the better:

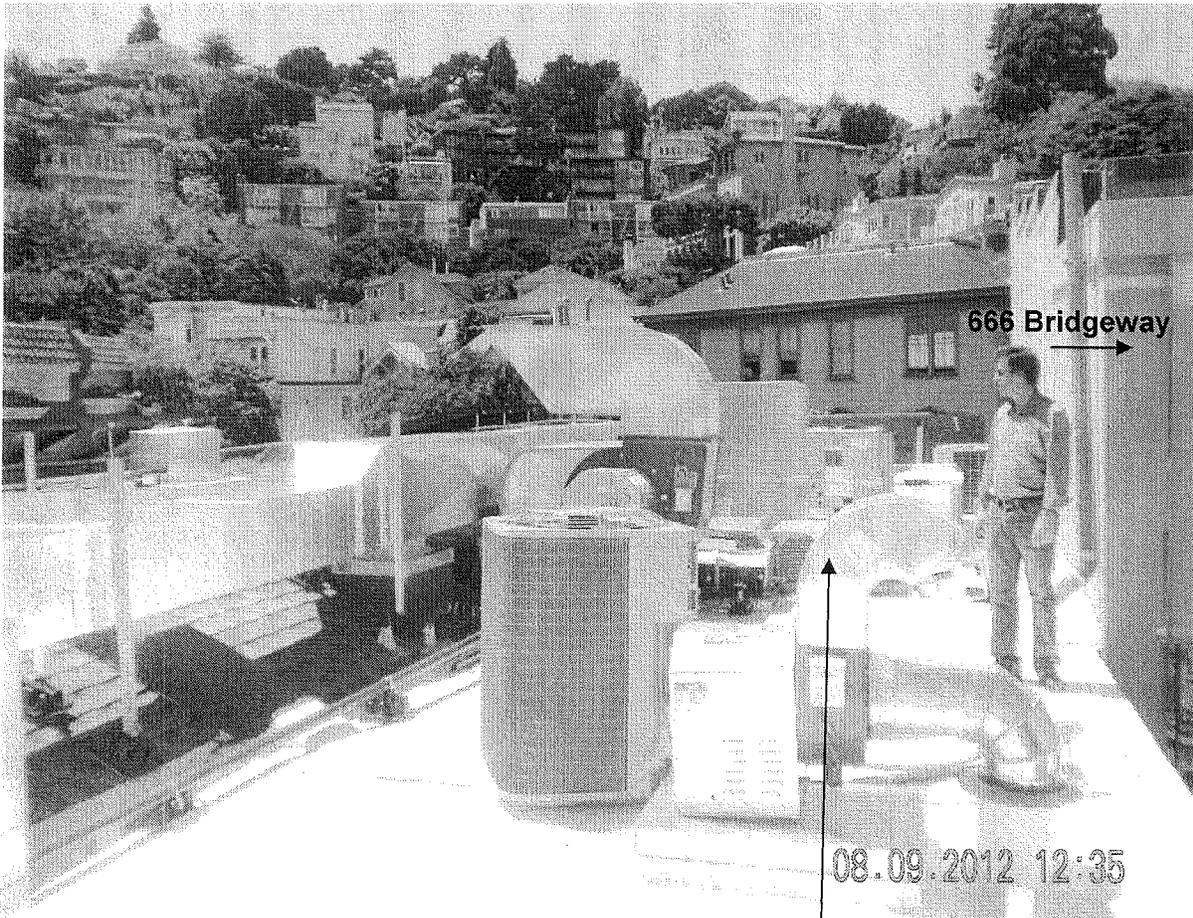
1. We would like to adjust the south facing screen (the one you see going north on Bridgeway) out slightly this will completely cover the ductwork so the duct work will not be seen driving down Bridgeway. As it was approved, people would have seen the duct run along the top of the building. This adjustment is for the better.
2. West side adjacent to Don Olsen. We are proposing to place 4 planters (please see Don Olsen sketch as this is his idea) to screen the dishwasher exhaust and the downstairs condenser unit (both the downstairs condenser units were inadvertently left off the plan by the Architect/Designer). The dishwasher exhaust was approved.
3. We propose to lower the pizza vent hood aproxemently 12 inches if allowed by code or the building inspector.
4. At the front of the North West corner building we have to adjust the duct work about 10 feet because there was no clearance to run the ducting through the concrete columns. This will require moving the screen aprox. 10 feet closer to the front of the building to screen ductwork.
5. The same condition is true for the opposite ductwork; we will paint it along with the existing condenser unit the same color so it blends in.

Thank you,

Chris Henry

EXHIBIT D
(1 PAGE)

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Equipment on roof of 660
Bridgeway to be screened by
new planters

EXHIBIT E
(3 PAGES)

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OCT 11 2012

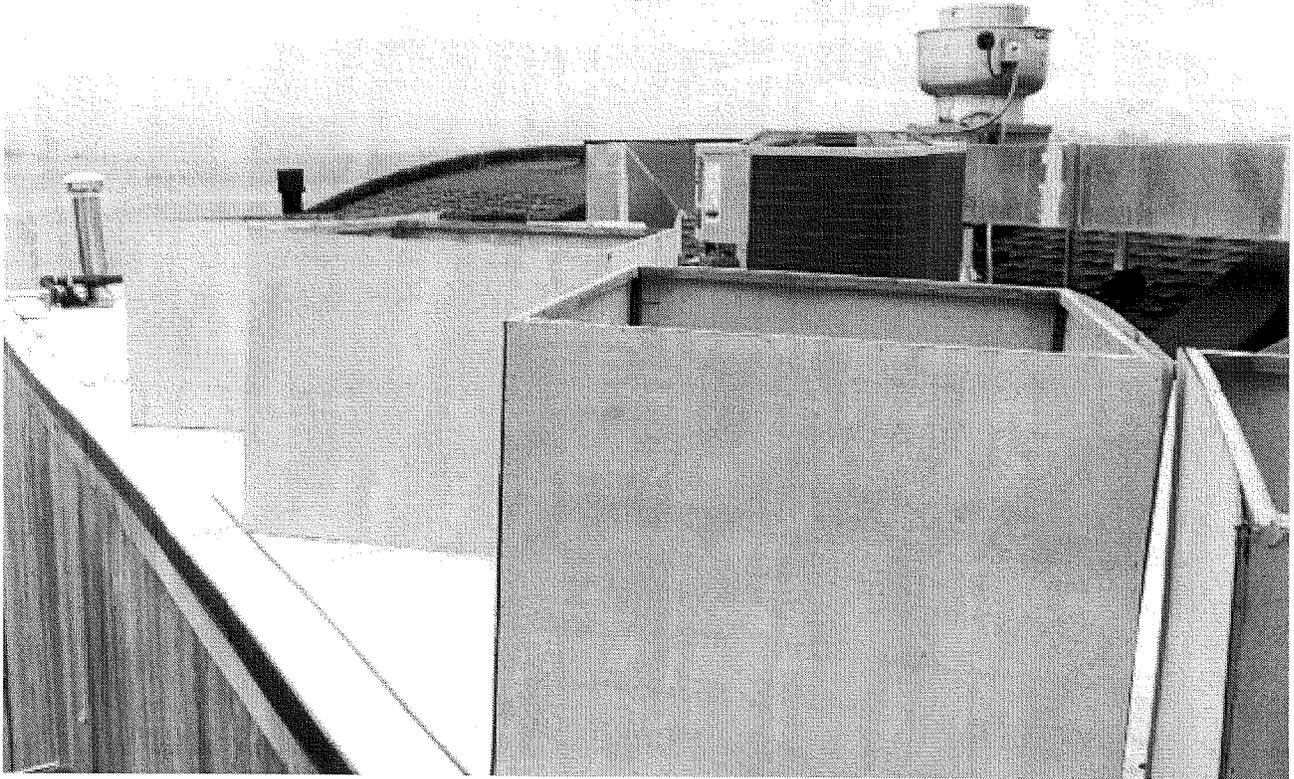
CITY OF SAUSALITO
COMMUNITY DEVELOPMENT
(SUBMITTED BY MAILING)



RECEIVED

OCT 11 2012

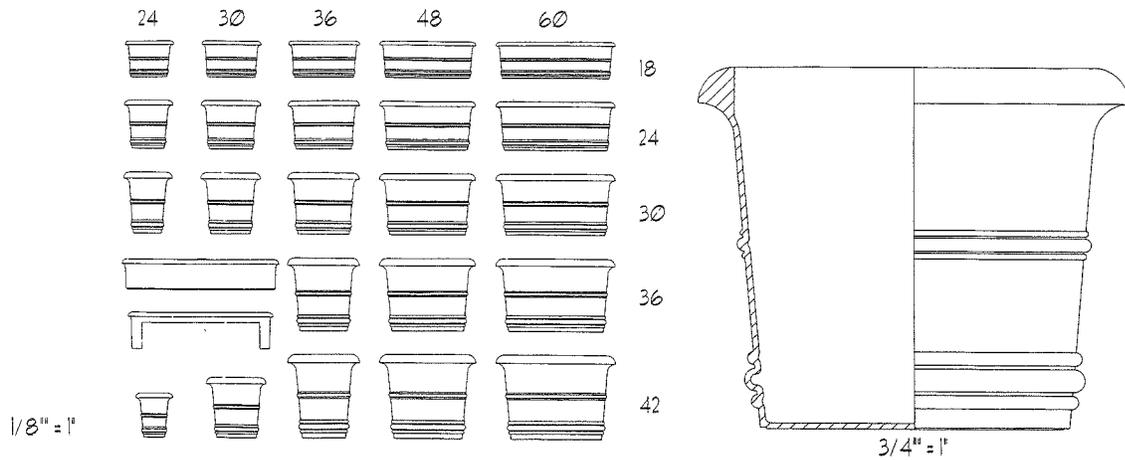
CITY OF SAUSALITO
COMMUNITY DEVELOPMENT



SUBMITTED BY APPLICANT

BLANK

Nastello Series



Model Number	External Dimensions			Internal Dimensions			Approx. Weight	Capacity Cu. Ft.
	Diameter/Side	Overall Height	Base	Diameter/Side	Overall Height	Base		
Cylinders								
NC 60 42	60	42	47	50	41	45	407	38
NC 60 36	60	36	49	52	35	47	365	35
NC 60 24	60	24	53	54	23	51	280	27
NC 60 18	60	18	55	56	17	53	237	22
NC 48 36	48	36	37	40	35	35	275	19
NC 48 30	48	30	39	41	29	37	214	18
NC 48 24	48	24	41	42	23	39	208	16
NC 48 18	48	18	43	44	17	41	174	13
NC 36 30	36	30	27	29	29	25	169	8
NC 36 24	36	24	29	30	23	27	144	8
NC 36 18	36	18	31	32	17	29	119	6
NC 30 30	30	30	20	23	29	18	142	6
NC 30 24	30	24	22	24	23	20	122	6
NC 30 18	30	18	24	26	17	22	97	5
NC 24 24	24	24	17	18	23	15	89	2
NC 24 18	24	18	19	20	17	17	72	2
Squares								
NS 60 42	60	42	47	50	41	45	517	59
NS 60 36	60	36	49	52	35	47	463	55
NS 60 24	60	24	53	54	23	51	355	39
NS 60 18	60	18	55	56	17	53	301	31
NS 48 36	48	36	37	40	35	35	348	32
NS 48 30	48	30	39	41	29	37	306	28
NS 48 24	48	24	41	42	23	39	263	23
NS 48 18	48	18	43	44	17	41	220	19
NS 36 30	36	30	27	29	29	25	215	14
NS 36 24	36	24	29	30	23	27	182	12
NS 36 18	36	18	31	32	17	29	150	10
NS 30 30	30	30	20	23	29	18	182	9
NS 30 24	30	24	22	24	23	20	152	8
NS 30 18	30	18	24	26	17	22	124	7
NS 24 24	24	24	17	18	23	15	112	4
NS 24 18	24	18	19	20	17	17	90	4

Standard sizes only as shown on chart. Elevations include ends of rectangular units. All dimensions in inches; assume minor variations. All weights in pounds; varies with finish type.

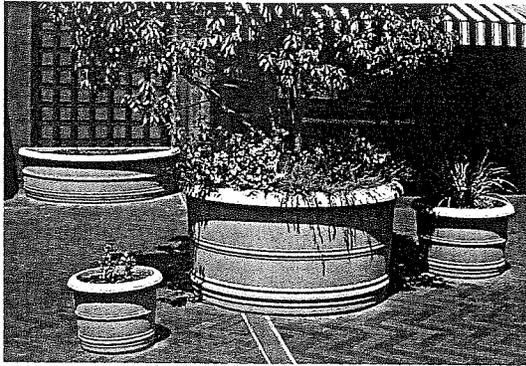
Finish Options, pages 60-63

Frequently Asked Questions, pages 52-53

30 Order/Information: 800-356-2462 Fax: 775-883-8306 Website: <http://www.stonewear.com>

STONEWEAR

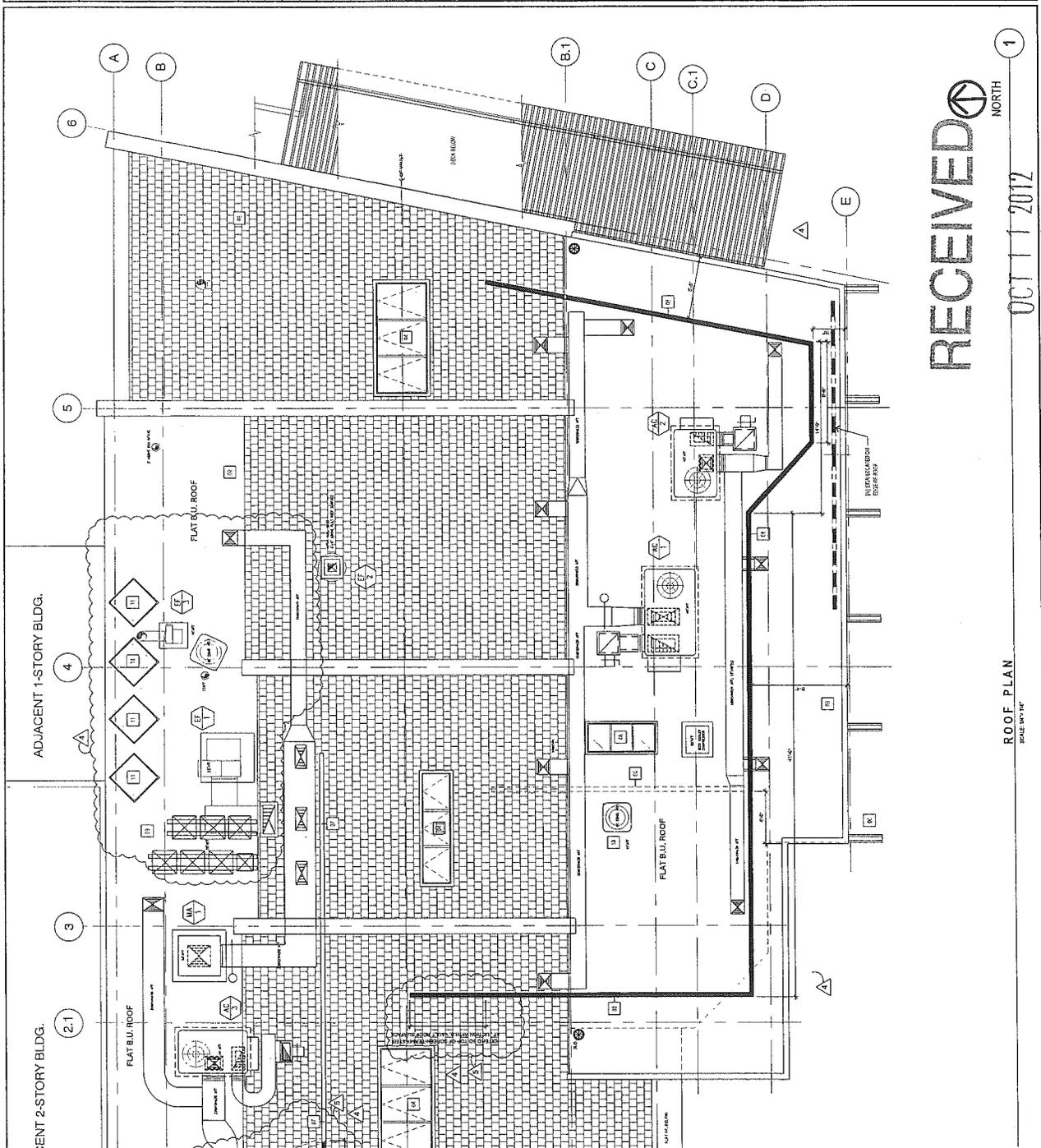
S I T E W A R E



Model Number	External Dimensions			Internal Dimensions			Approx. Weight	Capacity Cu. Ft.
	Diameter/ Long Side	Overall Height	Base/ Short Side	Diameter/ Long Side	Overall Height	Base/ Short Side		
Rectangles								
NR 60 42 36	60	42	36	50	41	26	387	31
NR 60 36 36	60	36	36	52	35	28	344	29
NR 60 24 36	60	24	36	54	23	30	258	22
NR 60 18 36	60	18	36	56	17	32	215	18
NR 60 42 24	60	42	24	50	41	14	323	17
NR 60 36 24	60	36	24	52	35	16	285	17
NR 60 24 24	60	24	24	54	23	18	209	13
NR 60 18 24	60	18	24	56	17	20	171	11
NR 48 36 36	48	36	36	40	35	28	296	23
NR 48 30 36	48	30	36	41	29	29	258	20
NR 48 24 36	48	24	36	42	23	30	220	17
NR 48 18 36	48	18	36	44	17	32	182	14
NR 48 36 24	48	36	24	40	35	16	242	13
NR 48 30 24	48	30	24	41	29	17	209	12
NR 48 24 24	48	24	24	42	23	18	177	10
NR 48 18 24	48	18	24	44	17	20	144	9
NR 36 30 24	36	30	24	29	29	17	171	8
NR 36 24 24	36	24	24	30	23	18	144	7
NR 36 18 24	36	18	24	32	17	20	117	6
Instant Fountain								
NF 78 15	78	15	74	68	6	64	425	100 gal.
Trash Receptacle								
NT 30 30	30	30	20	25	28	20	175	30+ gal.
Ash Urn								
NA 18 22	18	22	12	14	21	11	50	11 gal.
Bench								
NB 72 18	72	18	24				295	

Standard sizes only as shown on chart. Elevations include ends of rectangular units. All dimensions in inches; assume minor variations. All weights in pounds; varies with finish type.

Options and Accessories, pages 54 - 55



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ROOF PLAN
 SCALE: 1/8" = 1'-0"

- ROOF PLAN NOTES**
- (1) FOR MECHANICAL EQUIPMENT SPECIFICATIONS REFER TO MEP DRAWINGS.
 - (2) EXISTING ROOF TO BE REPAIRED.
 - (3) EXISTING ROOF TO REMAIN AND BE REPAIRED AS NECESSARY.
 - (4) (M) EXT. ALUM AND FLAT DBL. GLAZED OPERABLE SKYLIGHT, BRONZE ANOD. ALUM. FRAME BR. ANOD. FIN. DIMS 2'-0" X 6'-0"
 - (5) (N) ROOF DRAIN AND OVERFLOW.
 - (6) (E) APPROVED 4'-0" HT. MECH. EQUIP. SCREEN TO REMAIN SHOWN DASHED.
 - (7) (E) APPROVED 4'-0" HT. MECH. EQUIP. SCREEN CONSTRUCTED AS PER HLB PLANNING APPROVAL TO BE LOCATED AT THE EAST END THROUGHOUT ROW. SIDING TO MATCH BLDG. STAIN FIN. SEE STRUCT. DWGS. FOR KICKERS, DETS.
 - (8) (N) PROPOSED 4'-0" HT. MECH. EQUIP. SCREEN SPECIFICATIONS AS PER NOTE 7 OF MECHANICAL DWGS.
 - (9) (N) PROPOSED 2'-0" HT. MECH. EQUIP. SCREEN SPECIFICATIONS AS PER NOTE 7 OF MECHANICAL DWGS.
 - (10) (E) RELOCATED AC COMPRESSOR FOR GROUND FLOOR TENANT.
 - (11) (N) 3/8" X 3/8" X 30" FIBERGLASS PLANTERS TYPICAL OF FOUR

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**SAUSALITO PLANNING COMMISSION AND HISTORIC LANDMARKS BOARD
RESOLUTION NO. 2011-05**

**APPROVAL OF A DESIGN REVIEW PERMIT FOR THE
REHABILITATION OF THE BUILDING AT 660 BRIDGEWAY
(DR 10-384)**

WHEREAS, on December 15, 2010 an application was filed by the applicant and property owner, Chris Henry, requesting Planning Commission and Historic Landmarks Board approval of a Design Review Permit for the rehabilitation of the building located at 660 Bridgeway (APN 065-133-25); and

WHEREAS, the Planning Commission and Historic Landmarks Board conducted a duly-noticed public hearing on March 16, 2011, at which time all interested persons were given an opportunity to be heard; and

WHEREAS, the Planning Commission and Historic Landmarks Board have reviewed and considered the project plans titled "New Restaurant/Bar", date-stamped received March 7, 2011; and

WHEREAS, the Planning Commission and Historic Landmarks Board have considered all oral and written testimony on the subject application; and

WHEREAS, the Planning Commission and Historic Landmarks Board have reviewed and considered the information contained in the staff report dated March 16, 2011 for the proposed project; and

WHEREAS, the Planning Commission and Historic Landmarks Board have found that the project is consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties; and

WHEREAS, the Planning Commission and Historic Landmarks Board find that the project is categorically exempt from California Environmental Quality Act (CEQA) pursuant to Section 15331 of the CEQA Guidelines; and

WHEREAS, the Planning Commission and Historic Landmarks Board find that, as conditioned herein, the proposed project complies with the requirements of the General Plan and Zoning Ordinance as described in the staff report dated March 16, 2011.

NOW, THEREFORE, THE PLANNING COMMISSION AND HISTORIC LANDMARKS BOARD HEREBY RESOLVE:

A Design Review Permit DR 10-348 to allow the rehabilitation of the building at 660 Bridgeway is approved based upon the findings provided in Attachment 1, and subject to the conditions of approval provided in Attachment 2. The project plans are provided in Attachment 3.

RESOLUTION PASSED AND ADOPTED, at the joint meeting of the Sausalito Planning Commission and Historic Landmarks Board on the 16th day of March 2011, by the following vote:

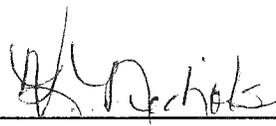
EXHIBIT H
(26 PAGES)

AYES: Commissioner: Werner, Graef, Cox, Keegin
NOES: Commissioner: None
ABSENT: Commissioner: Bair
ABSTAIN: Commissioner: None



Jeremy Graves, AICP
Secretary to the Planning Commission

AYES: Board Member: Kiernat, Flavin, Nichols, Pierce
NOES: Board Member: None
ABSENT: Board Member: None
ABSTAIN: Board Member: None



Vicki Nichols
Secretary to the Historic Landmarks Board

ATTACHMENTS

- 1- Findings
- 2- Conditions of Approval
- 3- Project Plans

I:\CDD\PROJECTS - ADDRESS\B\Bridgeway 660\DR 10-384\Resolutions\pchlb reso 2011-05.doc

PLANNING COMMISSION AND HISTORIC LANDMARKS BOARD RESOLUTION
March 16, 2011
DR 10-348
660 Bridgeway

ATTACHMENT 1: FINDINGS

1. DESIGN REVIEW PERMIT FINDINGS

In accordance with Zoning Ordinance Section 10.54 (Design Review Procedures), the Design Review Permit is approved based on the following findings:

- A) The proposed project is consistent with the General Plan, any applicable specific plans and this chapter.

The project is consistent with General Plan policies and purposes of the Central Commercial Zoning District, including those related to maintaining the historic character of the downtown, enhancing economic diversity, and maintaining the integrity of historic structures.

- B) The proposed architecture and site design complements the surrounding neighborhood and/or district by either: a) Maintaining the prevailing design character of the neighborhood and/or district or b) Introducing a distinctive and creative solution which takes advantage of the unique characteristics of the site and contributes to the design diversity of Sausalito.

The project will enhance the existing building by rehabilitating the structure. No new substantial design changes are proposed.

- C) The proposed project is consistent with the general scale of structures and buildings in the surrounding neighborhood and/or district.

The project will rehabilitate the existing structure. The proposed improvements to the structure will not alter the scale of the existing building, which are historically representative of the scale of Downtown structures.

- D) The proposed project has been located and designed to minimize obstruction of public views and primary views from private property.

The project will rehabilitate the structure in conjunction with a new restaurant. The relocation, consolidation and minimization of rooftop equipment associated with the restaurant operation has been located and designed to minimize both obstruction of public and private views.

- E) The proposed project will not result in a prominent building profile (silhouette) above a ridgeline.

The proposed project is not located on a ridgeline to create such impacts.

- F) The proposed landscaping provides appropriate visual relief, complements the buildings and structures on the site, and provides an attractive environment for the enjoyment of the public.

This project does not propose any additional landscaping, and therefore this finding is not applicable.

- G) The design and location of buildings provide adequate light and air for the project site, adjacent properties, and the general public.

The structure was originally constructed in 1935 and modified in 1981. The rehabilitation will repair the existing facilities and not create a change in scale or mass and therefore, the project will have no impact on the light and air for the project site, adjacent properties, and the general public.

- H) Exterior lighting, mechanical equipment, and chimneys are appropriately designed and located to minimize visual, noise and air quality impacts to adjacent properties and the general public.

The proposed project will reuse existing exterior lighting fixtures. The relocation, consolidation and minimization of rooftop equipment associated with the restaurant operation has been designed to minimize visual, noise and air quality impacts to adjacent properties and the general public.

- I) The project provides a reasonable level of privacy to the site and adjacent properties, taking into consideration the density of the neighborhood, by appropriate landscaping, fencing, and window deck and patio configurations.

The structure was originally constructed in 1935 and modified in 1981. The rehabilitation will repair the existing facilities and not create a change in scale or mass. Therefore, the project will have no impact on privacy.

- J) Proposed entrances, exits, internal circulation, and parking spaces are configured to provide an appropriate level of traffic safety and ease of movement.

There will be no alteration to the existing proposed entrances, exits, internal circulation or parking spaces, and therefore no change in the level of traffic safety and ease of movement.

- K) The proposed design preserves protected trees and significant natural features on the site to a reasonable extent and minimizes site degradation from construction activities and other potential impacts.

The proposed project does not impact existing natural features on the site.

- L) The project site is consistent with the guidelines for heightened review for projects which exceed 80% of the maximum allowed Floor Area Ratio and/or site coverage, as specified in subsection E (Heightened [Design] Review Findings).

The project is not subject to Heightened [Design] Review Requirements and no addition of building coverage or floor area is proposed.

2. HISTORIC OVERLAY DISTRICT FINDINGS

In accordance with the Sausalito Zoning Ordinance Section 10.46 (Historic Overlay District), the Planning Commission and Historic Landmarks Board find:

- A) The proposed new construction or alteration is compatible with the architectural and historical features of the structure and/or district.

The project proposes the rehabilitation of the existing structure in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

- B) The historical context of the original structure or district has been considered during the development and review of the proposal.

The historical context of the original structure was considered during Historic Landmarks Board study sessions. The rehabilitation project was found to not impact the original structure. The project proposes the rehabilitation of the existing structure in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

- C) The criteria for listing the structure or site on the local register does not apply, or the Historic overlay district will not be affected by the new construction or alterations.

The repair and replacement of siding, trim and windows to match the existing structures will not affect the Historic Overlay District.

- D) The State Historic Building Code is being applied to minimize alterations to the original historic structure.

The State Historic Building Code will be applied to this rehabilitation project to minimize alterations to the original historic structure.

- E) The Secretary of Interior Standards for Treatment of Historic Properties have been used to review and consider the new construction and proposed alterations.

The project proposes the rehabilitation of the existing structure in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

- F) Alternative uses and configurations have been considered as part of the Design Review process.

Alternative configurations for the rooftop configuration were proposed and considered during Historic Landmarks Board study sessions. The design of the project was revised to respond to the Historic Landmarks Board comments.

- G) Findings specified by Chapter 10.54 (Design Review Procedures) can be made.

The Design Review Findings can be favorably made, as discussed in the findings above.

- H) The proposed new construction or alteration will be compatible with and help achieve the purposes of the Historic Overlay District (Chapter 10.28.040.A).

The rehabilitation will be compatible with the purposes of the Historic Overlay District, as described below.

- To promote the conservation, preservation, and enhancement of the historic or architecturally significant structures and sites that form an important link to Sausalito's past;

The proposed improvements include the in-kind replacement and new exterior work of a contributing building in the Downtown Historic District. The original structure will not be altered and the concrete arches which are characteristic of the Purity Market will remain.

- To deter demolition, destruction, alteration, misuse or neglect of historic or architecturally significant buildings;

The project rehabilitates and existing contributing building in the Downtown Historic District to accommodate a new use in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.. The project minimizes impacts to the existing structure.

- To stimulate the economic health and quality of the community and stabilize and enhance the value of property;

The project's repairs will enhance the aesthetics of the structures thereby contributing to the value of the property.

- To encourage development tailored to the character and significance of the historic district through sign and design review standards;

This project requires a design review permit, approved by the Planning Commission and Historic Landmarks Board. In addition, any sign permits must comply with the requirements for signs in the Historic Overlay District in accordance with Section 10.42.070 of the Zoning Ordinance.

- To provide review of projects located in the Historic overlay district by the Historic Landmarks Board;

This project was reviewed by the Historic Landmarks Board on December 8, 2010, December 17, 2010 and January 26, 2011 and at a joint meeting with the Planning Commission of March 16, 2011.

- To encourage the protection and reuse of structures, sites and areas that provide significant examples of the past or that are landmarks in the history of architecture;

The proposed improvements include the in-kind replacement and new exterior work of a contributing building in the Downtown Historic District. The repair of the existing structures will provide for the continued use of the structure.

- To preserve structures that are unique and irreplaceable assets to the city and its neighborhoods; and

The structure is a contributing building in the Downtown Historic District. Due to its age and architectural characteristics, this building is a unique and irreplaceable asset to the City and its neighborhoods that will be rehabilitated.

- To provide appropriate settings and environments for historic structures.

The structure is located in the Downtown Historic District, which is an appropriate setting for the building.

PLANNING COMMISSION AND HISTORIC LANDMARKS BOARD RESOLUTION
March 16, 2011
DR 10-348
660 Bridgeway

ATTACHMENT 2: CONDITIONS OF APPROVAL

These conditions of approval apply to the plans prepared by Disseny Llorca, entitled "New Restaurant/Bar", date-stamped received March 7, 2011.

General Conditions

1. Upon building permit submittal the Conditions of Approval shall be shown on all construction drawings.
2. Upon building permit submittal the applicant shall provide a written response demonstrating compliance with each Condition of Approval.
3. Any new exterior lighting shall be down lit and shielded.
4. In order to reduce glare, the skylights shall be constructed of non-reflective glass.
5. The skylight exterior framing shall be painted to match the roof.
6. Exposed rooftop equipment and ductwork shall be painted to match the roof.
7. The rooftop equipment screening shall tie more aesthetically into the barrel roof.
8. The approval of the final color scheme shall be made by a subcommittee composed of one Planning Commissioner and one Historic Landmarks Boardmember.
9. The "Henry's" sign in the custom front door is not approved. The applicant shall submit a sign permit application and receive subsequent approval of the sign or remove the sign from the drawings.
10. Pursuant to Section 10.42.070, any new signage shall require a Sign Permit to be reviewed by the Planning Commission and Historic Landmarks Board at a joint meeting.
11. Improvements within the public right of way shall conform to the Cities and County of Marin "Uniform Construction Standards."
12. Third party peer reviews may be required as determined by the City Engineer or authorized designee. Such review shall be performed at the Developer's expense and may include the review of the final soils report, grading, hydrology, lot closure calculations, improvement plans, erosion control plans and post construction pollution prevention plans, field inspections of permitted work. Developer shall submit a deposit to the City prior to third party review.

13. Prior to issuance of the Certificate of Occupancy, the applicant shall complete all necessary public safety improvements subject to the approval of the City Engineer.
14. No alternative or unrelated construction, site improvements, tree removal and/or alteration, exterior alterations and/or interior alterations and/or renovations not specified in the project plans, or alterations approved by the Community Development Director, shall be performed on the project site. In such cases, this approval shall be rendered null and void unless approved by the Community Development Director as a modification to this approval.
15. In the event that any condition imposing a fee, exaction, dedication or other mitigation measure is challenged by the project sponsors in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal or final resolution of such action. If any condition is invalidated by a court of law, the entire project shall be reviewed by the City and substitute conditions may be imposed.
16. The applicant shall indemnify the City for any and all costs, including without limitation attorneys' fees, in defending this project or any portion of this project and shall reimburse the City for any costs incurred by the City's defense of the approval of the project.

Drainage Conditions

17. The building permit plans shall show existing and proposed downspouts and their discharge locations.
18. The building permit plans shall show existing and proposed drainage patterns. The project shall not alter existing drainage patterns or quantity off of the property.

Stormwater Pollution Prevention

19. The Developer's contractor shall provide adequate dust control measures during construction.
20. Developer shall prepare and implement a Water Pollution Prevention Plan that addresses construction related and post-construction related site management practices including demolition, general construction, concrete, paving, dewatering, contaminated soils masonry, tile work, painting litter control, motor vehicle washing and maintenance, storage of hazardous materials.
21. To the maximum extent feasible, drainage from paved surfaces and roofs shall be routed through grassy swales, cisterns, buffer strips or filters prior to discharge into the storm drainage system.

Street Conditions

22. Applicant shall repair or replace, at no expense to the City, damage to existing public facilities due to construction activities prior to issuance of a Certificate of Occupancy. Contractor shall save and protect all existing facilities not designated for removal or modification within the project limits.

Utility Conditions

- 23. Prior to issuance of a Building Permit, plans shall include details of the new grease interceptor for the review and approval of the City's Sanitary Sewer Coordinator.
- 24. Prior to issuance of a Building Permit, plans shall include notes and details for the replacement of the sanitary sewer lateral.
- 25. No backfill of the sanitary sewer lateral trench shall occur until approval is received from the City's Sewer Systems Coordinator.
- 26. Sewer lateral pipe material and sewer lateral appurtenances shall be per the recommendations of the City's Sewer Systems Coordinator and shall be shown on the drawings prior to issuance of a Building Permit. Allowable pipe material shall depend upon the depth of the proposed new sanitary sewer lateral below grade.
- 27. Prior to issuance of Certificate of Occupancy Developer or designated agent shall submit an As-Built video of the sewer lateral for inspection and verification by the City's Sewer System Coordinator.

Engineering Conditions

- 28. Prior to issuance of a Building Permit all property line bearings and distances on the Vicinity Map/Site Plan shall be labeled correctly.
- 29. Prior to issuance of a Building Permit all drawings shall provide drawing scales, whether they are to scale or not to scale.
- 30. Construction related access and staging shall not be allowed via Bridgeway or Yee Toc Chee Park except for work directly related to the replacement of the sanitary sewer lateral.
- 31. Construction materials, equipment, vehicles, and debris boxes shall not be placed on Bridgeway, Yee Tock Chee Park or other public facilities in the vicinity of this project.
- 32. Access to public facilities shall not be limited by the proposed construction.
- 33. Emergency vehicle access and access to adjacent properties shall be maintained at all times throughout the duration of this project.
- 34. City Engineer may waive or defer improvement construction.

Fire Conditions

- 35. Prior to issuance of a building permit the following Fire District requirements shall be indicated on the plans:
 - a. In any building with an existing automatic sprinkler system, protection shall be extended to any and all areas of alteration, repair, remodel or addition, regardless of job size so that 100% coverage is maintained.
 - b. Where a Type 1 hood system is installed a UL 300 Wet-Chemical extinguishing system shall be provided and installed according to NFPA 13.

- c. An approved Automatic and Manual Fire Alarm System shall be provided in accordance with standards as established by the National Fire Protection Association. Said system must be connected to the headquarters of the Southern Marin Fire Protection District through an approved U.L. central monitoring station.
 - d. A manual Fire Alarm Box shall be required at the main exit of the building. It shall be installed according to NFPA 72 and ADA requirements.
 - e. In order to be considered part of an accessible means of egress, an exit stairway shall have a clear width of 48 inches minimum between handrails and shall either incorporate an area of refuge within an enlarged floor-level landing or shall be accessed from either an area of refuge complying with Section 1007.6 2010 California Fire Code.
 - f. All exiting doors shall comply with Section 1007.3 of the 2010 California Fire Code. Egress doors shall be readily operable from the egress side without the use of a key or special knowledge or effort.
 - g. A Fire Safety and Evacuation plan shall be submitted and authorized prior to final inspection.
 - h. Exit signs shall be installed in accordance with the 2010 California Fire Code requirements.
36. A Fire Safety and Evacuation plan shall be submitted and authorized prior to final inspection by the Fire District.
37. Prior to the issuance of the Certificate of Occupancy the Fire District shall provide a final sign-off.

Advisory Notes

Advisory notes are provided to inform the applicant of Sausalito Municipal Code requirements, and requirements imposed by other agencies. These requirements include, but are not limited to, the items listed below.

- 1. This approval will expire in two (2) years from the effective date of this resolution if the property owner has not exercised the entitlements hereby granted, or an extension has not been filed prior to the expiration date.
- 2. An approval granted by the Planning Commission does not constitute a building permit or authorization for construction. Appropriate construction permit(s) issued by the Building Division must be obtained prior to construction.
- 3. All applicable City fees as established by City Council resolutions and ordinances shall be paid. Third party review fees (cost plus 10%) shall be paid.
- 4. Pursuant to Municipal Code Chapter 3.36, Construction Traffic Road Fees shall be paid prior to issuance of a building permit.
- 5. An encroachment permit shall be obtained from the Department of Public Works prior to use of the public right-of-way for non-public purposes (e.g., materials storage, debris box storage) including any and all construction and demolition activities.

6. Pursuant to Municipal Code Chapter 8.54, applicants shall submit a Recycling Management Plan to the Community Development Department prior to the issuance of any construction permits, unless the requirement is waived pursuant to Section 8.54.050.
7. Pursuant to Municipal Code Chapter 11.17, dumping of residues from washing of painting tools, concrete trucks and pumps, rock, sand, dirt, agricultural waste, or any other materials discharged into the City storm drain system that is not composed entirely of storm water is prohibited. Liability for any such discharge shall be the responsibility of person(s) causing or responsible for the discharge. Violations constitute a misdemeanor in accordance with Section 11.17.060.B.
8. Pursuant to Municipal Code Section 12.16.140, the operation of construction, demolition, excavation, alteration, or repair devices and equipment within all residential zones and areas within a 500 foot radius of residential zones shall only take place during the following hours:
Weekdays – Between 8:00 a.m. and 6:00 p.m.
Saturdays – Between 9:00 a.m. and 5:00 p.m.
Sundays – Prohibited
City holidays (not including Sundays) – Between 9:00 a.m. and 7:00 p.m.
9. Pursuant to Municipal Code Section 18.12.100, existing sewer service laterals shall be inspected for surface water connections and leakage at the time of remodeling of any building. Deteriorated service laterals shall be repaired prior to approval of the building permit.
10. Permits required by other agencies having jurisdiction within the construction area must be obtained in accordance with the respective agency's regulations.
 - a. Marin Municipal Water District – (415-945-1400), including landscaping and irrigation regulations;
 - b. Southern Marin Fire Protection District – (415-388-8182); and
 - c. Bay Conservation and Development Commission – (415-352-3600).
11. Pursuant to Municipal Code Section 10.54.100, construction activities undertaken in accordance with a design review permit shall comply with the construction time limit regulations based upon the project's valuation. Construction projects which are not completed within the time limits are subject to daily penalties.

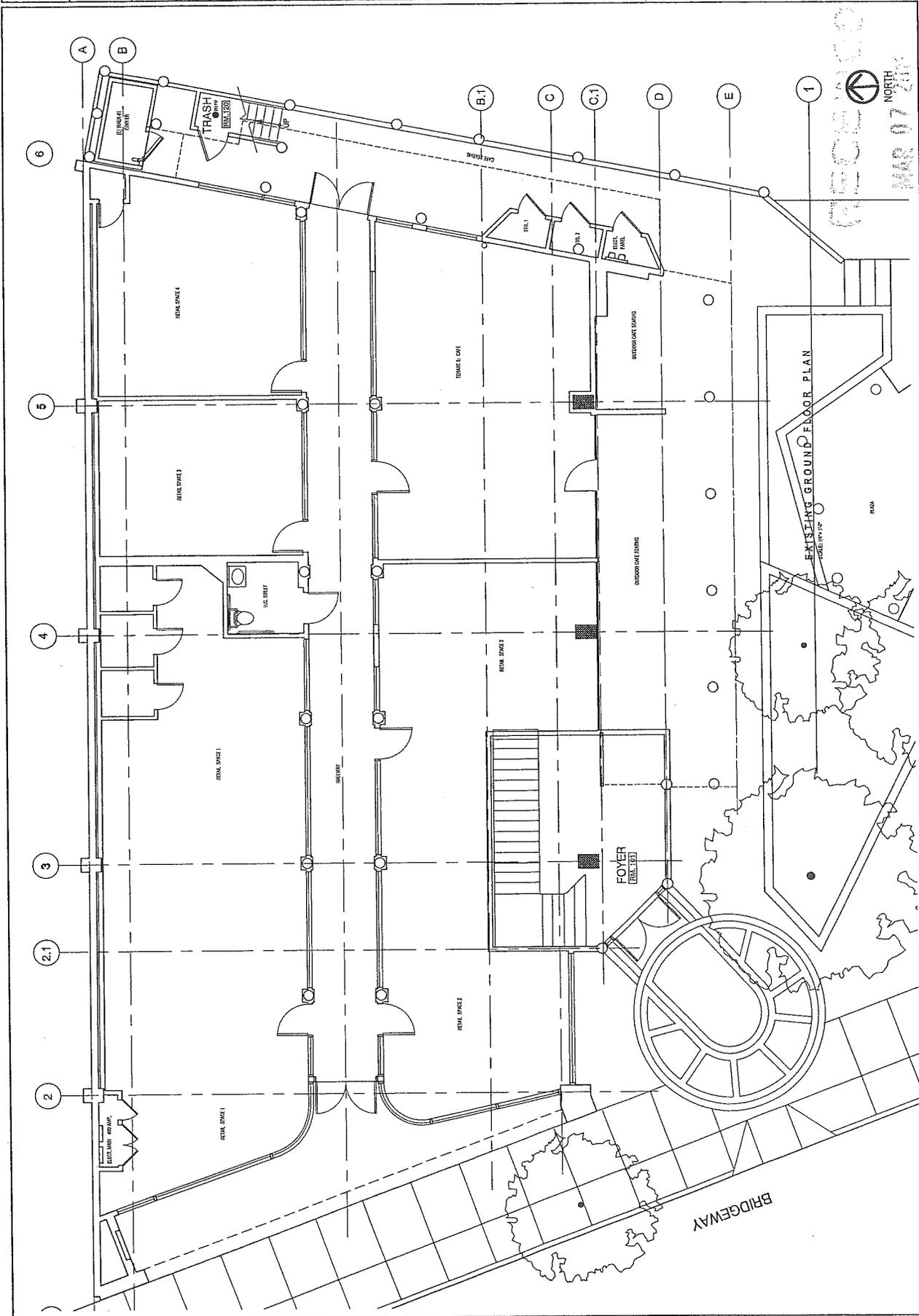
PLANNING COMMISSION AND HISTORIC LANDMARKS BOARD RESOLUTION
March 16, 2011
DR 10-348
660 Bridgeway

ATTACHMENT 3: PROJECT PLANS

NEW RESTAURANT | BAR
 660 BRIDGEWAY SAUSALITO, CA
 OWNER: MR. CHRIS HENRY

EXISTING GROUND FLOOR PLAN

A0.1



Illara
 650 BRIDGEWAY SAUSALITO, CA
 OWNER: MR. CHRIS HENRY

PROPOSED
 SECOND FLOOR PLAN

APR. 085-133-025

SCALE: 1/8" = 1'-0"

DATE: 04/11/11
 DRAWN BY: [Name]
 CHECKED BY: [Name]

PROJECT: NEW RESTAURANT BAR
 650 BRIDGEWAY SAUSALITO, CA
 OWNER: MR. CHRIS HENRY

NO. DATE COMMENTS
 1 04/11/11 NEW DISPLAY
 2 05/11/11 PER PLAN ROOMS

110V DUPLEX RECEPTACLE FLOOR MOUNT
 110V JUNCTION BOX MOUNT HEIGHT PER ARCH/LIGHT, DESIGNER
 TELEVISION CABLE JACK WALL MOUNT
 MOUNT PER INTERIOR ELEVATIONS
 TELEPHONE JACK WALL MOUNT CENTER AT 48" AFF
 HARD WIRED SMOKE DETECTOR W/BACKUP BATTERY
 CEILING MOUNT RECESSED VENTILATION FAN-VENT TO DAYLIGHT
 PROVIDE SPECIFICATIONS TO ARCH. FOR REVISIONS
 COC SECTION 1115B.1.1.2 REFER TO SHT. A1.0 FOR DETAIL
 TACTILE EXIT SIGN-SEE DET. 204.1 FOR MOUNTING

MAIN ELECTRICAL PANELS S.E.D.
 ELECTRICAL SUBPANELS S.E.D.
 SINGLE POLE SWITCH, WALL MOUNT AT 48" A.F.F.
 THREE-WAY SWITCH, WALL MOUNT AT 48" A.F.F.
 110V DUPLEX RECEPTACLE GROUND FAULT INTERRUPTOR
 MOUNT AT 48" A.F.F. OR 8" ABOVE COUNTER TOP
 110V DUPLEX RECEPTACLE MOUNT AT 48" A.F.F.
 MOUNT AT 48" A.F.F. BELOW MAIN BARS
 110V DUPLEX RECEPTACLE EXTERIOR WATERPROOF

110V WATER SINK MOUNT REQUIRED PER CODE
 W/ANTHONY BACK-UP. MOUNT PER GUIDELINES
 ON DET. 204.1
 SURFACE MOUNTED EMERGENCY EGRESS LIGHTING
 W/ANTHONY BACK-UP. MOUNT PER GUIDELINES
 ON DET. 204.1
 FAU THERMOSTAT WALL MOUNT AT 48" AFF
 GAS VALVE FOR ELECTR. FIREPLACE
 CW HOSE BB
 DECK DRAIN

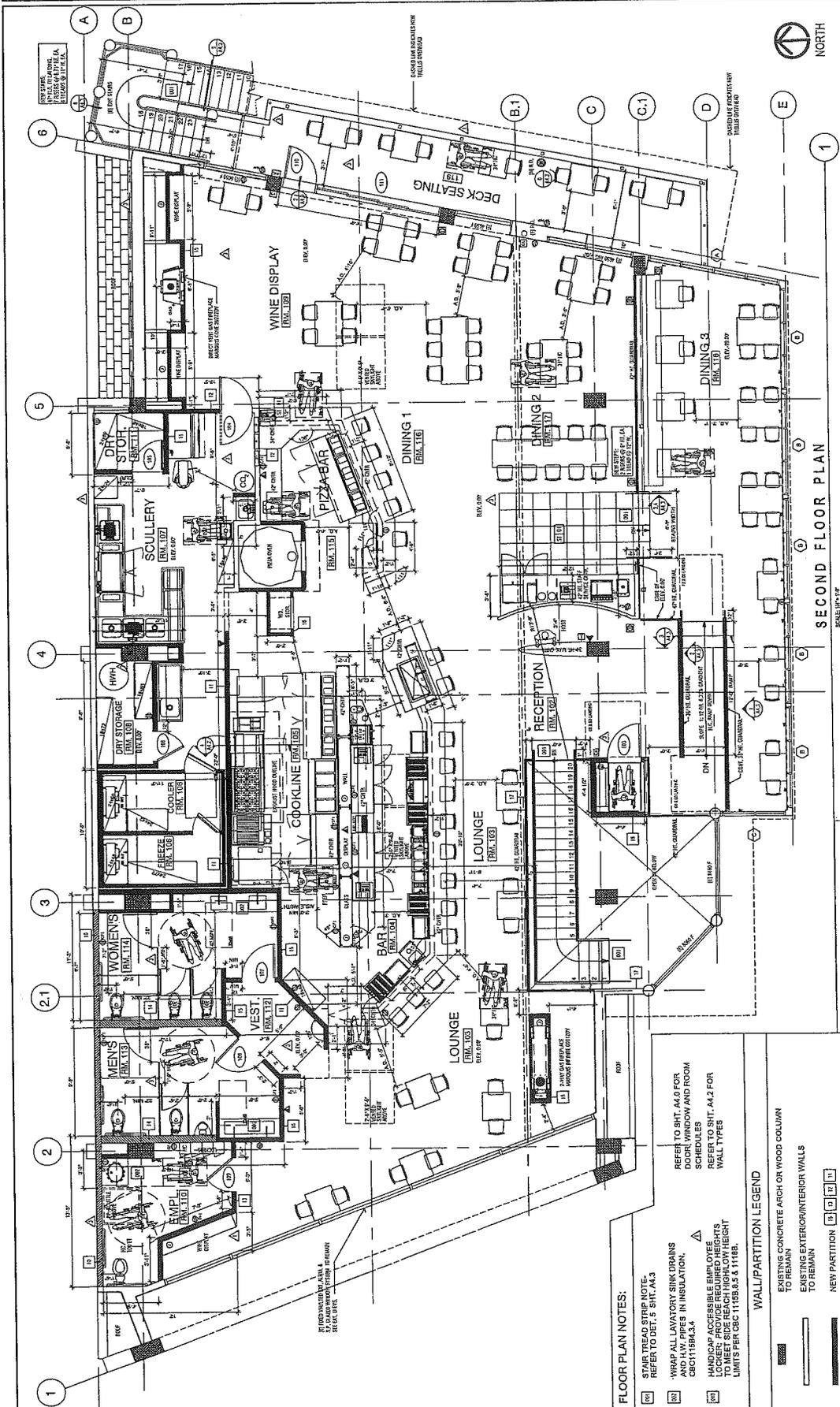
WALL PARTITION LEGEND
 EXISTING CONCRETE ARCH OR WOOD COLUMN
 TO REMAIN
 EXISTING EXTERIOR/INTERIOR WALLS
 TO REMAIN
 NEW PARTITION
 PLUMBING WALL
 EXTERIOR WALL TO BE RESTORED
 ONE-HOUR FIRE-RATED WALL
 WALL W/ COOLER/FREEZER ENCLOSURE
 BAR COUNTER OVER WALL/GLOSS DISPLAY WALL SUPPORT.
 4" FIN. HT. 5/8" CYP. BD. BOTH SIDES OF 2 X 8 STUDS @ 16" O.C.
 DRYROT CONDITIONS S.D.
 FIRE RATED FURRING

FLOOR PLAN NOTES:
 STAIR TREAD STRIP NOTE:
 REFER TO SHT. 5 SHT. A4.3
 WRAP ALL LAVATORY SINK DRAINS
 DOOR, WINDOW AND ROOM
 SCHEDULES
 CBC115B4.3.5 IN INSULATION.
 W/DOOR ACCESSIBLE BARR. OR FEZ
 LOCUS. PROVIDE REQUIRED HEIGHTS
 TO MEET SIDE REACH HIGH/LOW HEIGHT
 LIMITS PER CBC 115B4.3 & 115B6.

WALL PARTITION LEGEND
 EXISTING CONCRETE ARCH OR WOOD COLUMN
 TO REMAIN
 EXISTING EXTERIOR/INTERIOR WALLS
 TO REMAIN
 NEW PARTITION
 PLUMBING WALL
 EXTERIOR WALL TO BE RESTORED
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 FIRE RATED FURRING

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 4" FIN. HT. 5/8" CYP. BD. BOTH SIDES OF 2 X 8 STUDS @ 16" O.C.
 DRYROT CONDITIONS S.D.
 FIRE RATED FURRING



110V WATER SINK MOUNT REQUIRED PER CODE
 W/ANTHONY BACK-UP. MOUNT PER GUIDELINES
 ON DET. 204.1
 SURFACE MOUNTED EMERGENCY EGRESS LIGHTING
 W/ANTHONY BACK-UP. MOUNT PER GUIDELINES
 ON DET. 204.1
 FAU THERMOSTAT WALL MOUNT AT 48" AFF
 GAS VALVE FOR ELECTR. FIREPLACE
 CW HOSE BB
 DECK DRAIN

110V DUPLEX RECEPTACLE FLOOR MOUNT
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 110V DUPLEX RECEPTACLE EXTERIOR WATERPROOF

FLOOR PLAN NOTES:
 STAIR TREAD STRIP NOTE:
 REFER TO SHT. 5 SHT. A4.3
 WRAP ALL LAVATORY SINK DRAINS
 DOOR, WINDOW AND ROOM
 SCHEDULES
 CBC115B4.3.5 IN INSULATION.
 W/DOOR ACCESSIBLE BARR. OR FEZ
 LOCUS. PROVIDE REQUIRED HEIGHTS
 TO MEET SIDE REACH HIGH/LOW HEIGHT
 LIMITS PER CBC 115B4.3 & 115B6.

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 EXISTING CONCRETE ARCH OR WOOD COLUMN
 TO REMAIN
 EXISTING EXTERIOR/INTERIOR WALLS
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 EXTERIOR WALL TO BE RESTORED
 ONE-HOUR FIRE-RATED WALL
 WALL W/ COOLER/FREEZER ENCLOSURE
 BAR COUNTER OVER WALL/GLOSS DISPLAY WALL SUPPORT.
 4" FIN. HT. 5/8" CYP. BD. BOTH SIDES OF 2 X 8 STUDS @ 16" O.C.
 DRYROT CONDITIONS S.D.
 FIRE RATED FURRING

ITEM NO. 3 PAGE 52

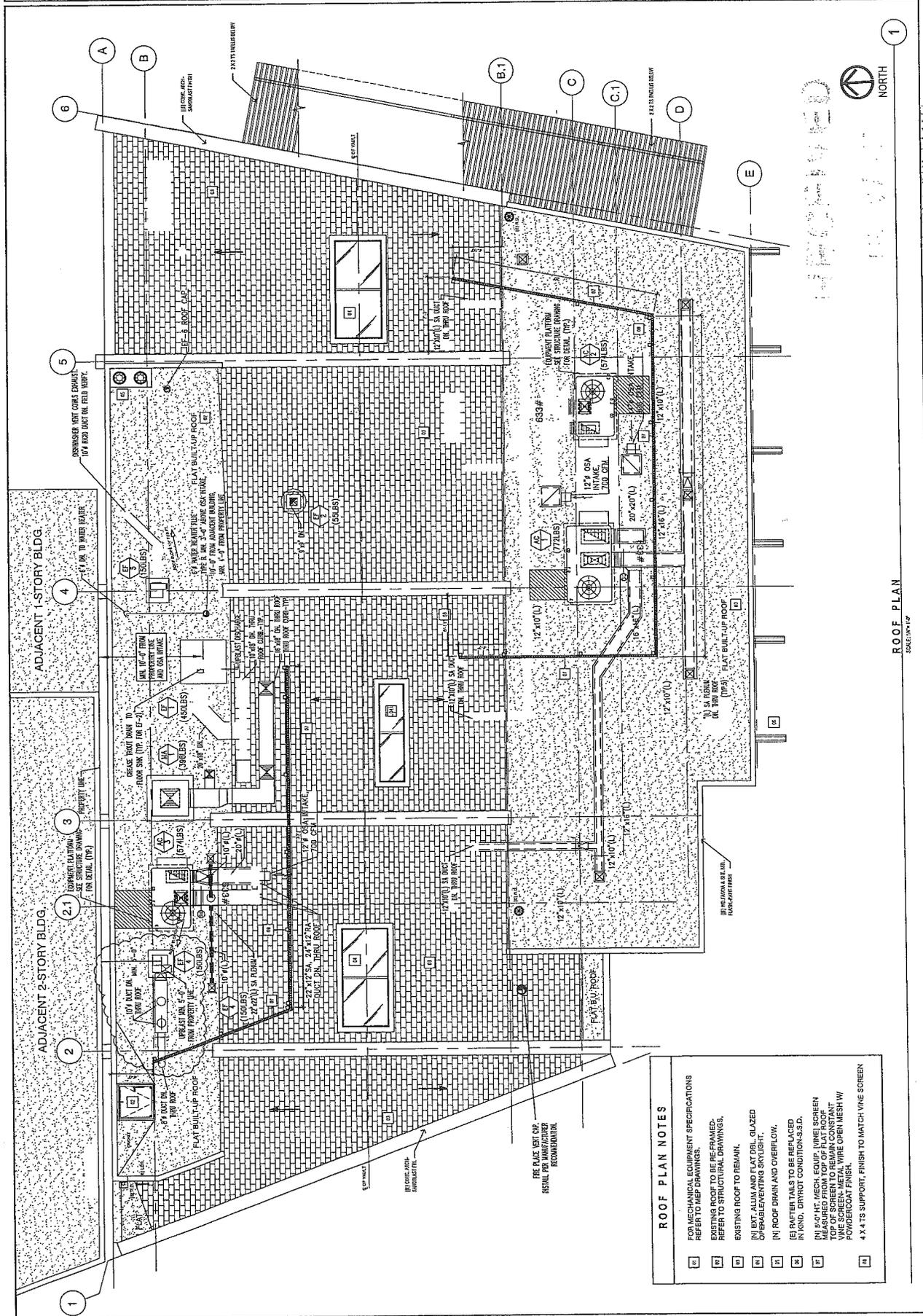
ISSUED	DATE	COMMENTS
10/21/11	10/21/11	10/21/11
03/21/11	10/21/11	10/21/11
03/21/11	10/21/11	10/21/11

OWNER: MR. CHRIS HENRY
 660 BRIDGEWAY SAUSALITO, CA
 NEW RESTAURANT BAR

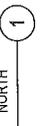
PROPOSED ROOF PLAN

APRIL 085-13-078

DATE	03/21/11
SCALE	AS SHOWN
PROJECT	NEW RESTAURANT BAR
SHEET	DA
A1.2	



- ROOF PLAN NOTES**
- 1. FOR MECHANICAL EQUIPMENT SPECIFICATIONS REFER TO MEP DRAWINGS.
 - 2. EXISTING ROOFS TO BE RE-FLASHED. REFER TO STRUCTURAL DRAWINGS.
 - 3. EXISTING ROOF TO REMAIN.
 - 4. (M) EXT. ALUM AND FLAT DRIL GLAZED OPERABLE VENTING SKYLIGHT.
 - 5. (N) ROOF DRAIN AND OVERFLOW.
 - 6. (R) BATTER TALS TO BE REPLACED.
 - 7. (S) 1/2\"/>



ROOF PLAN
SECTION 07

CITY OF SAUSALITO

client	loria
project name	680 BRIDGEWAY BAR
location	SAN FRANCISCO, CA
architect	DISNEY
date	10/15/11
scale	AS SHOWN
project no.	
sheet no.	
total sheets	
date	
drawn by	
checked by	
approved by	

OWNER: MR. CHRIS HENRY
 NEW RESTAURANT | BAR
 680 BRIDGEWAY SAUSALITO, CA

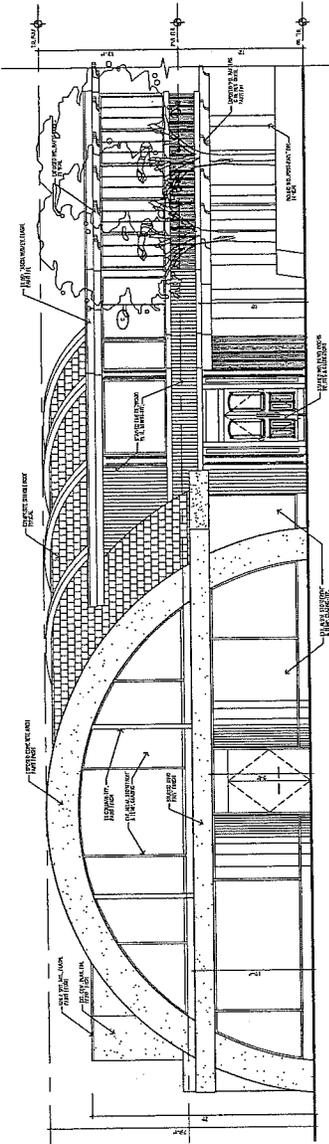
DATE: 10/15/11

EXISTING EXTERIOR ELEVATIONS

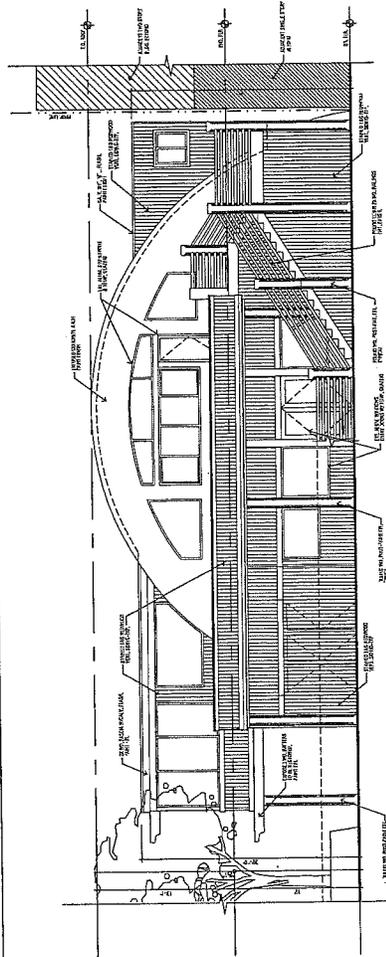
FILE	
DATE	10/15/11
SCALE	AS SHOWN
PROJECT NO.	
SHEET	
	OF

A2.0

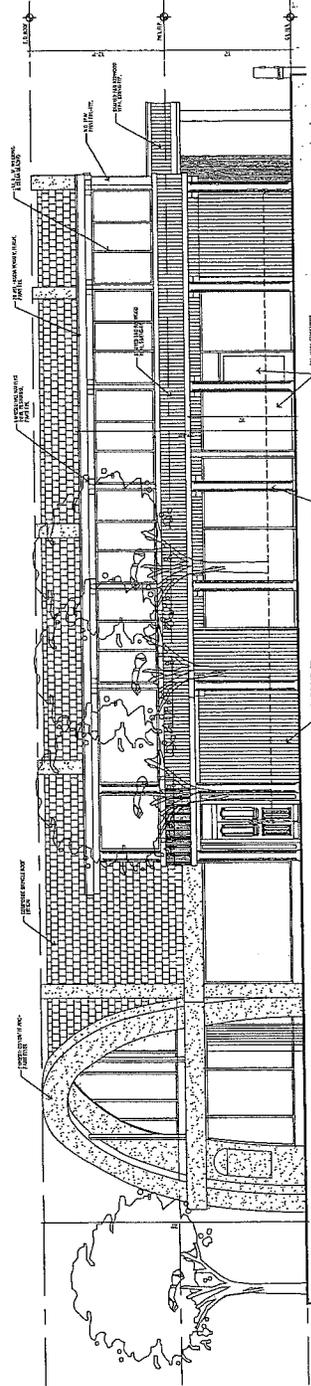
SHEETS



WEST (BRIDGEWAY) ELEVATION

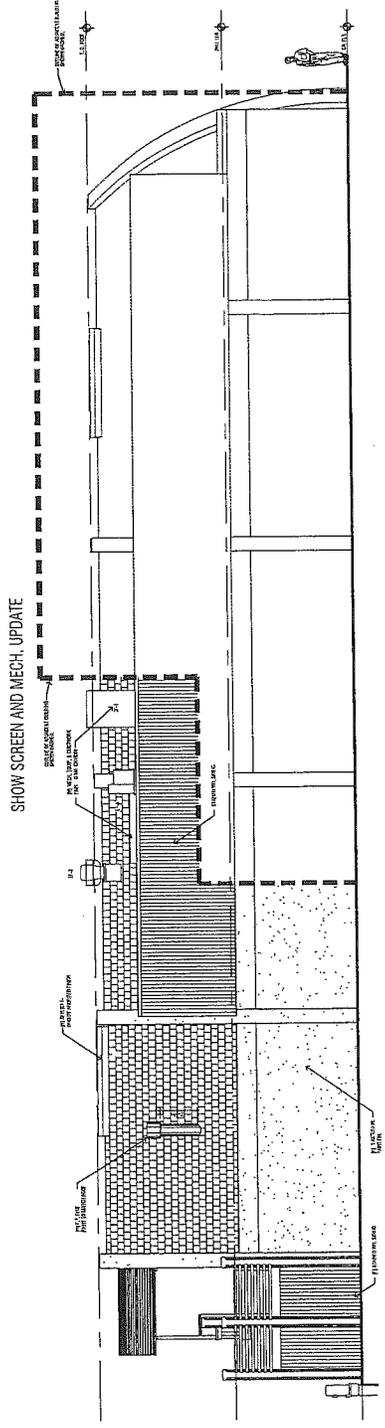


EAST ELEVATION

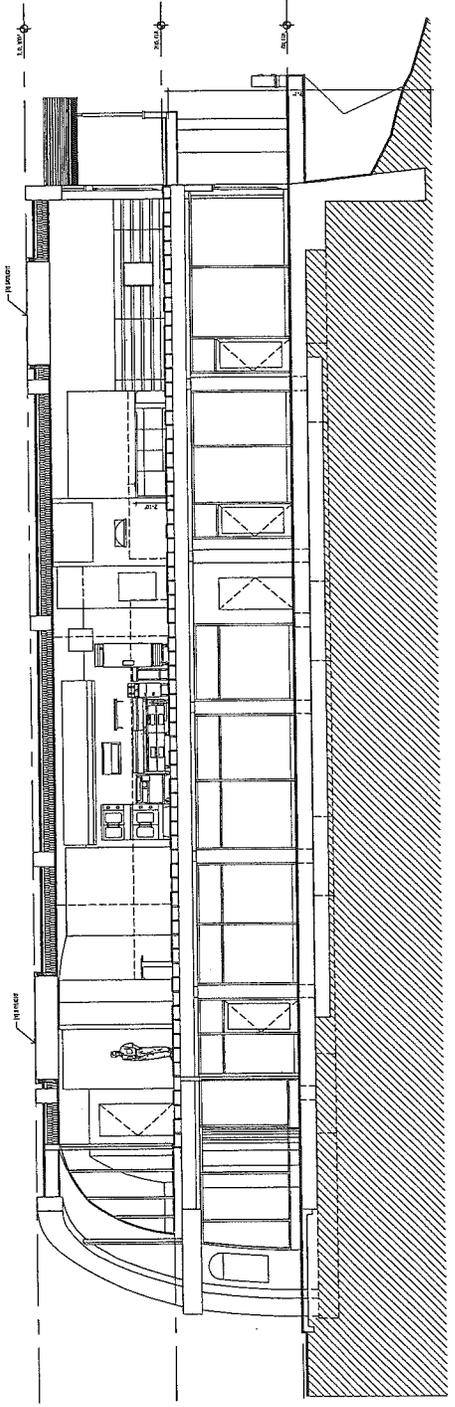


SOUTH ELEVATION

DISSENY IORA ARCHITECTS 100 CALIFORNIA STREET SAN FRANCISCO, CA 94104 TEL: 415.774.3333 WWW.DISSENYIORA.COM	DATE: 02/14/2018 DRAWN BY: J. HENRY CHECKED BY: J. HENRY PROJECT: NEW RESTAURANT BAR 650 BRIDGEWAY SAUSALITO, CA OWNER: MR. CHRIS HENRY	APR. 05. 13. 025 NORTH ELEVATION LONGITUDINAL SECTION	TITLE: _____ DATE: _____ SCALE: ARCHITECT PROJECT: _____ DRAWN: JAL SHEET: _____ A23	SHEET
--	--	---	---	-------



NORTH ELEVATION



EAST / WEST BUILDING SECTION

RECEIVED

MAR 07 2018

CITY OF SAUSALITO
 PLANNING DEPARTMENT

dissemy lora
 architect & interior design
 1000 S. G Street
 Los Angeles, CA 90015
 (213) 480-1111

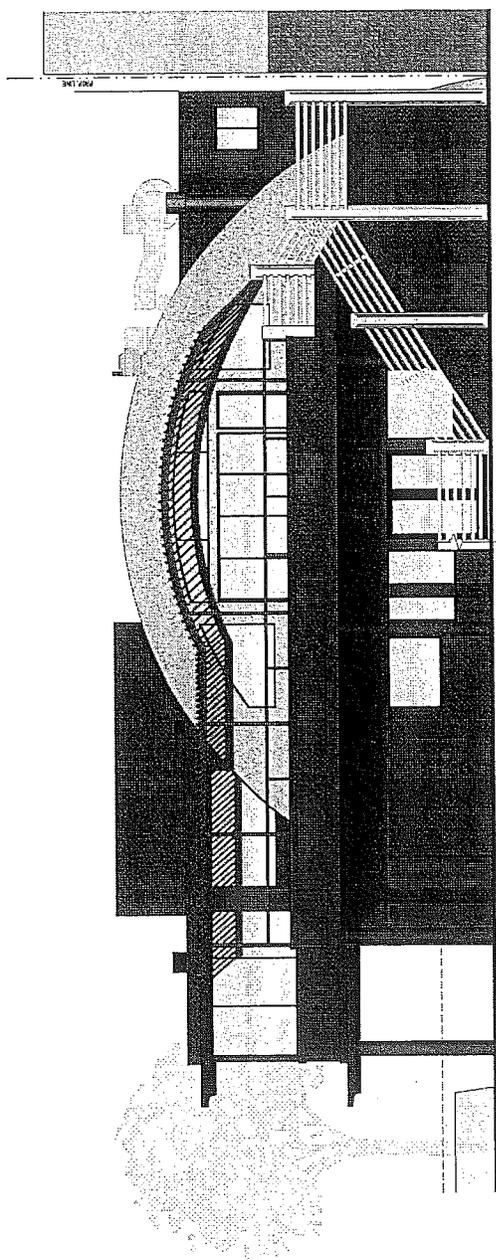
NO.	DATE	COMMENTS
1	02-12-2014	REVISION

OWNER: MR. CHRIS HENRY
 650 BRIDGEWAY SAUSALITO, CA
 NEW RESTAURANT | BAR

EAST & SOUTH ELEVATION
 RENDERINGS

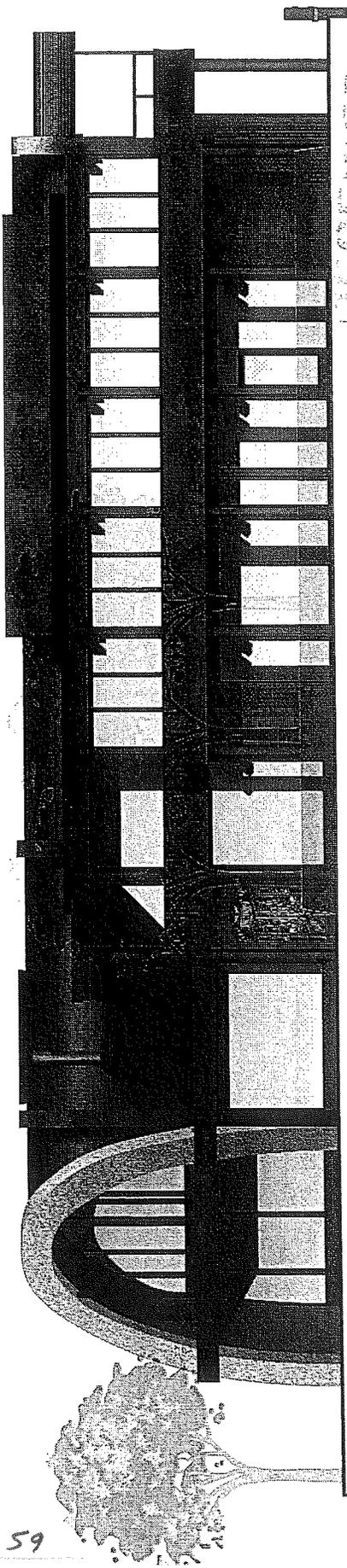
FILE	DATE	SCALE	PROJECT	DRAWN	CHECKED
	02/12/14	AS NOTED			

A3.2
 SHEET



EAST ELEVATION

1



SOUTH ELEVATION

2

CITY OF SAUSALITO
 OFFICIAL CITY SEAL

RECEIVED

JAN 20 2011

CITY OF SAN SALITO
COMMUNITY DEVELOPMENT DEPT

A Low Profile
Modular Dimension
Center to Center
of Curb

2 3/4"

D 3.0000
Flange to Flange

1.7500

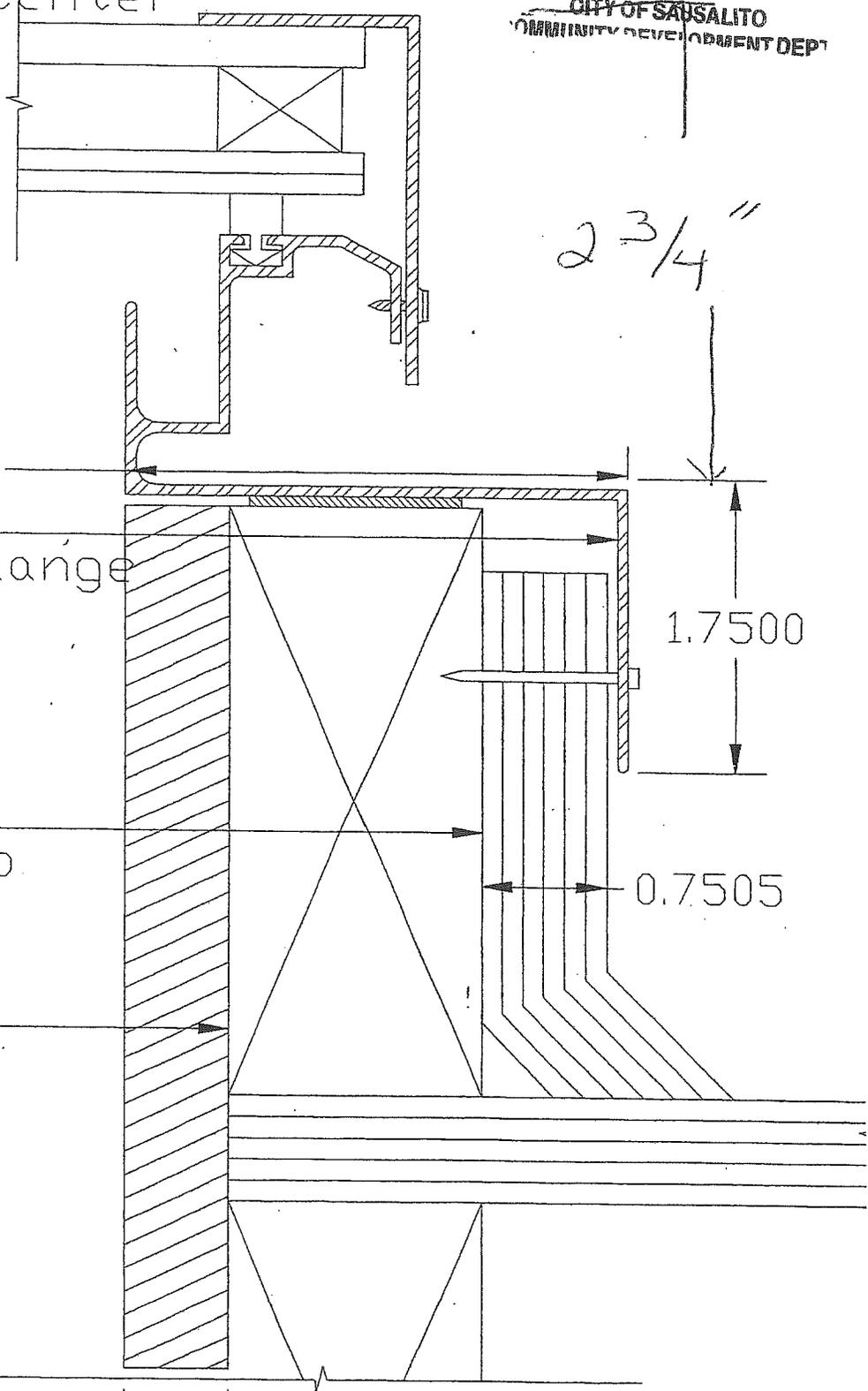
C
Outside Curb

0.7505

B
Inside Curb

0.6250 1.5000

Skylight and Son
Robert Singer
510-841-2323



**SAUSALITO PLANNING COMMISSION AND HISTORIC LANDMARKS BOARD
RESOLUTION NO. 2012-04**

**RESOLUTION APPROVING MODIFICATIONS TO A DESIGN REVIEW PERMIT AND
A SIGN PERMIT FOR BUSINESS IDENTIFICATION SIGNAGE AT A COMMERCIAL
BUILDING LOCATED AT 660 BRIDGEWAY
DR/ SP 11-332**

WHEREAS, the Planning Commission and the Historic Landmarks Board adopted Resolution No. 2011-05 on March 16, 2011 approving a Design Review Permit (DR 10-384) for the rehabilitation of the existing building at 660 Bridgeway in conjunction with the establishment of a new use as a restaurant, bakery and bar; and

WHEREAS, an application has been filed by applicant Eduard Llorca, on behalf of the property owner Chris Henry, William Henry and Wynona Henry requesting Planning Commission and Historic Landmarks Board approval of modifications to the previously-approved Design Review Permit to allow for façade modifications, including modifications to the approved entry doors, extension of a second level outdoor deck, shifting of a rooftop mechanical screen, addition of a new skylight and revised exterior colors and a Sign Permit for new business identification signage for the Barrel House restaurant at 660 Bridgeway (APN 065-133-25);

WHEREAS, the project site is located within the Central Commercial General Plan Land Use Designation, Central Commercial Zoning District, and Downtown Historic Overlay Zoning District; and

WHEREAS, the Planning Commission and the Historic Landmarks Board conducted a duly-noticed public hearing on February 22, 2012 at which time all interested persons were given an opportunity to be heard; and

WHEREAS, the Planning Commission and the Historic Landmarks Board have reviewed and considered the information contained in the staff report as well as any and all oral and written testimony on the proposed project; and

WHEREAS, the Planning Commission and the Historic Landmarks Board have reviewed and considered the project plans titled "New Restaurant|Bar" and date-stamped February 14, 2012 and the sign plans titled "Barrel House" and date stamped January 11, 2012; and

WHEREAS, the Planning Commission and the Historic Landmarks Board find that the proposed project, as conditioned herein, is consistent with the General Plan and complies with the requirements of the Zoning Ordinance as described in the staff report; and

WHEREAS, approval of the project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301, Existing Facilities, which allows for minor alterations to an existing building and Section 15331, Historic Resource Restoration/Rehabilitation, which allows for the rehabilitation and addition to a contributing building in the Downtown Historic Overlay District in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

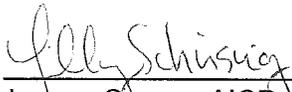
EXHIBIT I
(22 PAGES)

**NOW, THEREFORE, THE PLANNING COMMISSION AND HISTORIC LANDMARKS BOARD
HEREBY RESOLVE AS FOLLOWS:**

1. The project is exempt from the requirements of CEQA pursuant to CEQA Guidelines Section 15301, Existing Facilities and Section 15331, Historic Resource Restoration/Rehabilitation.
2. Modifications to Design Review Permit DR 10-384 for modifications to a previously-approved Design Review Permit to allow for façade modifications, including modifications to the approved entry doors, extension of a second level outdoor deck, shifting of a rooftop mechanical screen, addition of a new skylight and revised exterior colors is approved based upon the findings provided in Attachment 1, and subject to the conditions of approval provided in Attachment 2. The project plans, "New Restaurant|Bar" and date-stamped February 14, 2012", which supersede the plans titled "New Restaurant/Bar", date-stamped received March 7, 2011, are provided in Attachment 3.
3. A Sign Permit for business identification signage is approved based upon the findings provided in Attachment 1, and subject to the conditions of approval provided in Attachment 2. The project plans are provided in Attachment 3.

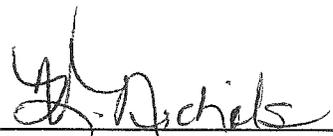
RESOLUTION PASSED AND ADOPTED, at the regular meeting of the Planning Commission and Historic Landmarks Board on the 22nd day of February, 2012, by the following vote:

AYES: Warner, Graef, Cox, Keegin
NOES: None
ABSENT: Bair
ABSTAIN: None

For: 

Jeremy Graves, AICP
Secretary to the Planning Commission

AYES: Flavin, Kiernat, Nichols, Pierce
NOES: None
ABSENT: None
ABSTAIN: None



Vicki Nichols
Secretary to the Historic Landmarks Board

Attachments:

- 1- Findings
- 2- Conditions of Approval
- 3- Project plans entitled "New Restaurant|Bar" and date-stamped February 14, 2012"
I:\CDD\PROJECTS - ADDRESS\B\Bridgeway 660\DR 10-384\2012 Modifications\pccreso 2012-04.doc

PLANNING COMMISSION and HISTORIC LANDMARKS RESOLUTION
FEBRUARY 22, 2012
DR/ SP 11-332
660 BRIDGEWAY

ATTACHMENT 1: FINDINGS

1. DESIGN REVIEW PERMIT FINDINGS

In accordance with Zoning Ordinance Section 10.54 (Design Review Procedures), the Design Review Permit is approved based on the following findings:

- A) The proposed project is consistent with the General Plan, any applicable specific plans and this chapter.

The project is consistent with General Plan policies and purposes of the Central Commercial Zoning District, including those related to maintaining the historic character of the downtown, enhancing economic diversity, and maintaining the integrity of historic structures. Additionally, the project is consistent with the Historic Design Guidelines, specifically, Policies 2.11, 2.12, 2.13, 2.52 and 2.53.

- B) The proposed architecture and site design complements the surrounding neighborhood and/or district by either: a) Maintaining the prevailing design character of the neighborhood and/or district or b) Introducing a distinctive and creative solution which takes advantage of the unique characteristics of the site and contributes to the design diversity of Sausalito.

The project will enhance the existing building by rehabilitating the structure. No new substantial design changes are proposed.

- C) The proposed project is consistent with the general scale of structures and buildings in the surrounding neighborhood and/or district.

The project will rehabilitate the existing structure. The proposed improvements to the structure will not alter the scale of the existing building, which are historically representative of the scale of Downtown structures.

- D) The proposed project has been located and designed to minimize obstruction of public views and primary views from private property.

The project will rehabilitate the structure in conjunction with a new restaurant. The relocation, consolidation and minimization of rooftop equipment associated with the restaurant operation has been located and designed to minimize both obstruction of public and private views.

- E) The proposed project will not result in a prominent building profile (silhouette) above a ridgeline.

The proposed project is not located on a ridgeline to create such impacts.

- F) The proposed landscaping provides appropriate visual relief, complements the buildings and structures on the site, and provides an attractive environment for the enjoyment of the public.

This project does not propose any additional landscaping, and therefore this finding is not applicable.

- G) The design and location of buildings provide adequate light and air for the project site, adjacent properties, and the general public.

The structure was originally constructed in 1935 and modified in 1981. The rehabilitation will repair the existing facilities and not create a change in scale or mass and therefore, the project will have no impact on the light and air for the project site, adjacent properties, and the general public.

- H) Exterior lighting, mechanical equipment, and chimneys are appropriately designed and located to minimize visual, noise and air quality impacts to adjacent properties and the general public.

The proposed project will reuse existing exterior lighting fixtures. The relocation, consolidation and minimization of rooftop equipment associated with the restaurant operation has been designed to minimize visual, noise and air quality impacts to adjacent properties and the general public.

- I) The project provides a reasonable level of privacy to the site and adjacent properties, taking into consideration the density of the neighborhood, by appropriate landscaping, fencing, and window deck and patio configurations.

The structure was originally constructed in 1935 and modified in 1981. The rehabilitation will repair the existing facilities and not create a change in scale or mass. Therefore, the project will have no impact on privacy.

- J) Proposed entrances, exits, internal circulation, and parking spaces are configured to provide an appropriate level of traffic safety and ease of movement.

There will be no alteration to the existing proposed entrances, exits, internal circulation or parking spaces, and therefore no change in the level of traffic safety and ease of movement.

- K) The proposed design preserves protected trees and significant natural features on the site to a reasonable extent and minimizes site degradation from construction activities and other potential impacts.

The proposed project does not impact existing natural features on the site.

- L) The project site is consistent with the guidelines for heightened review for projects which exceed 80% of the maximum allowed Floor Area Ratio and/or site coverage, as specified in subsection E (Heightened [Design] Review Findings).

The project is not subject to Heightened [Design] Review Requirements and no addition of building coverage or floor area is proposed.

2. HISTORIC OVERLAY DISTRICT FINDINGS

In accordance with the Sausalito Zoning Ordinance Section 10.46 (Historic Overlay District), the Planning Commission and Historic Landmarks Board find:

- A) The proposed new construction or alteration is compatible with the architectural and historical features of the structure and/or district.

The project proposes the rehabilitation of the existing structure in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

- B) The historical context of the original structure or district has been considered during the development and review of the proposal.

The historical context of the original structure was considered during Historic Landmarks Board study sessions. The rehabilitation project was found to not impact the original structure. The project proposes the rehabilitation of the existing structure in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

- C) The criteria for listing the structure or site on the local register does not apply, or the Historic overlay district will not be affected by the new construction or alterations.

The modifications will not affect the Historic Overlay District.

- D) The State Historic Building Code is being applied to minimize alterations to the original historic structure.

The State Historic Building Code will be applied to this rehabilitation project to minimize alterations to the original historic structure.

- E) The Secretary of Interior Standards for Treatment of Historic Properties have been used to review and consider the new construction and proposed alterations.

The project proposes the rehabilitation of the existing structure in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

- F) Alternative uses and configurations have been considered as part of the Design Review process.

Alternative configurations for the rooftop configuration were proposed and considered during Historic Landmarks Board study sessions. The design of the project was revised to respond to the Historic Landmarks Board comments.

- G) Findings specified by Chapter 10.54 (Design Review Procedures) can be made.

The Design Review Findings can be favorably made, as discussed in the findings above.

- H) The proposed new construction or alteration will be compatible with and help achieve the purposes of the Historic Overlay District (Chapter 10.28.040.A).

The rehabilitation will be compatible with the purposes of the Historic Overlay District, as described below.

- To promote the conservation, preservation, and enhancement of the historic or architecturally significant structures and sites that form an important link to Sausalito's past;

The proposed improvements include the in-kind replacement and new exterior work of a contributing building in the Downtown Historic District. The original structure will not be altered and the concrete arches which are characteristic of the Purity Market will remain.

- To deter demolition, destruction, alteration, misuse or neglect of historic or architecturally significant buildings;

The project rehabilitates and existing contributing building in the Downtown Historic District to accommodate a new use in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties. The project minimizes impacts to the existing structure.

- To stimulate the economic health and quality of the community and stabilize and enhance the value of property;

The project's repairs will enhance the aesthetics of the structures thereby contributing to the value of the property.

- To encourage development tailored to the character and significance of the historic district through sign and design review standards;

This project requires a design review permit, approved by the Planning Commission and Historic Landmarks Board. In addition, any sign permits must comply with the requirements for signs in the Historic Overlay District in accordance with Section 10.42.070 of the Zoning Ordinance.

- To provide review of projects located in the Historic Overlay District by the Historic Landmarks Board;

This project was reviewed by the Historic Landmarks Board on December 8, 2010, December 17, 2010, January 26, 2011, at a joint meeting with the Planning Commission of March 16, 2011, at additional study session on November 30, 2011 and January 24, 2012 and at a joint meeting with the Planning Commission of February 22, 2012.

- To encourage the protection and reuse of structures, sites and areas that provide significant examples of the past or that are landmarks in the history of architecture;

The proposed improvements include the in-kind replacement and new exterior work of a contributing building in the Downtown Historic Overlay District. The repair of the existing structures will provide for the continued use of the structure.

- To preserve structures that are unique and irreplaceable assets to the city and its neighborhoods; and

The structure is a contributing building in the Downtown Historic Overlay District. Due to its age and architectural characteristics, this building is a unique and irreplaceable asset to the City and its neighborhoods that will be rehabilitated.

- To provide appropriate settings and environments for historic structures.

The structure is located in the Downtown Historic Overlay District, which is an appropriate setting for the building.

3. SIGN PERMIT FINDINGS

In accordance with Zoning Ordinance Section 10.42.090(E) (Sign Permit Findings), the Sign Permit for new business signage is approved based on the following findings:

1. The proposed sign complies with all applicable provisions of this Title.

As discussed in the Staff Report dated February 22, 2012, the Planning Commission and the Historic Landmarks Board find the signs comply with the requirements of Chapter 10.42 of the Zoning Ordinance.

2. The proposed sign is consistent with the applicable sign standards.

As discussed in the Staff Report dated February 22, 2012, the Planning Commission and the Historic Landmarks Board find the sign regulations allow for signs to be installed at the project site.

3. The proposed sign will not adversely impact the public health, safety, or general welfare.

The Planning Commission and the Historic Landmarks Board find the signs are designed to not adversely impact public health, safety, or general welfare. In addition, a building permit will be required prior to installation of the signs to ensure the signs will be installed to code.

4. The proposed color, design, material and location of the proposed sign are compatible with the architectural design of the building.

The Planning Commission and the Historic Landmarks Board find the color, design, materials, and location of the signs will be compatible with the façade modifications associated with a contributing building located in the Downtown Historic Overlay Zoning District.

5. If the property is located within or near a residential area, the sign is harmonious with the character of the residential neighborhood.

The Planning Commission and the Historic Landmarks Board find the subject site is not in a residential area. Therefore, this finding is not applicable.

6. The proposed sign is restrained in character and is no larger than necessary for adequate identification.

The Planning Commission and the Historic Landmarks Board find the signs will be complimentary to the aesthetic of the building, the site, and the Downtown Historic Overlay Zoning District and are adequate to identify the site.

7. The proposed sign is consistent with the highest graphic standards and composed of durable and appropriate materials.

The Planning Commission and the Historic Landmarks Board find the signs will be constructed out of high quality materials which are durable and compatible with the aesthetic of the project site.

8. If the proposed sign is for an establishment within a commercial or industrial center, the sign is harmonious with the entire center's signage and has been subject to the commercial or industrial center's Design Review.

The Planning Commission and the Historic Landmarks Board find the signs are designed to be compatible and harmonious with not only the aesthetic of the project site and the Downtown Historic Overlay District as a whole.

9. If the proposed sign is oriented toward a residential zoning district and is within 50 feet of said district, the signage is necessary for minimum business identification and will not have an adverse aesthetic effect on the residential character of the adjacent residential neighborhood.

The Planning Commission and the Historic Landmarks Board find the business identification signs will not be located within 50 feet of a residential zoning district. The signs will not have an adverse aesthetic effect on the residential neighborhood located above the commercial district on Bridgeway.

10. Proposed sign serves to primarily identify the business or type of activity being conducted on the same premises, or the product, service or interest being offered for sale or lease on-site.

The Planning Commission and the Historic Landmarks Board find the signs primarily identify the restaurant businesses being conduction on the premise and are necessary to serve the businesses at the project site.

11. If the property is located within a designated historic district, or is listed on the local register, the proposed sign has been reviewed and approved by the Historic Landmarks Board and complies with the Historic District Sign Guidelines and Section 10.42.070 (Sign and Awning Standards in the Historic Overlay District for Properties Listed on the Local Register).

The Planning Commission and the Historic Landmarks Board find the signs will be compatible with the architecture of the project site and the Downtown Historic Overlay District as a whole based on the scale, materials, color, and design of the signage.

**PLANNING COMMISSION and HISTORIC LANDMARKS RESOLUTION
FEBRUARY 22, 2012
DR/ SP 11-332
660 BRIDGEWAY**

ATTACHMENT 2: CONDITIONS OF APPROVAL

These conditions of approval apply to the project plans and materials titled "New Restaurant|Bar" and date-stamped February 14, 2012" and sign plans titled "Barrel House" and date stamped January 11, 2012, which supersede the plans titled "New Restaurant/Bar", date-stamped received March 7, 2011. All Conditions of Approval in Resolution 2011-05 remain in effect.

General

1. Upon building permit submittal the Conditions of Approval in this Resolution and Planning Commission Resolution No. 2011-05 shall be shown on all construction drawings.
2. Upon building permit submittal the applicant shall provide a written response demonstrating compliance with each Condition of Approval in this Resolution and Planning Commission Resolution No. 2011-05.
3. The wattage of the up-lit roof sign lights shall be subject to review and approval of the Community Development Director to ensure there are not off site glare impacts to nearby properties.
4. In accordance with Bay Conservation and Development Commission (BCDC) Permit No. BCDC Permit No. M1979.088.02, the lower level deck shall not be used for private outdoor dining. The following improvements are required to be shown on the construction drawings and installed in the lower level public access way:
 - a. A bench for public seating shall be installed at the owner's expense on the lower level in the required BCDC public access area; and
 - b. A BCDC Public Shore sign shall be posted at the entry to required BCDC public access area in a clearly visible location.

Advisory Notes

Advisory notes are provided to inform the applicant of Sausalito Municipal Code requirements, and requirements imposed by other agencies. These requirements include, but are not limited to, the items listed below.

5. The approval for the Design Review Permit will expire in two (2) years from the effective date of this resolution if the property owner has not exercised the entitlements hereby granted, or an extension has not been filed prior to the expiration date.
6. The approval for the Minor Use Permit and the Sign Permit will expire in one (1) year from the effective date of this resolution if the property owner has not exercised the entitlements hereby granted, or an extension has not been filed prior to the expiration date.

7. An approval granted by the Planning Commission does not constitute a building permit or authorization for construction. Appropriate construction permit(s) issued by the Building Division must be obtained prior to construction.
8. All applicable City fees as established by City Council resolutions and ordinances shall be paid. Third party review fees (cost plus 10%) shall be paid.
9. Pursuant to Municipal Code Chapter 3.36, Construction Traffic Road Fees shall be paid prior to issuance of a building permit.
10. An encroachment permit shall be obtained from the Department of Public Works prior to use of the public right-of-way for non-public purposes (e.g., materials storage, debris box storage) including any and all construction and demolition activities.
11. Pursuant to Municipal Code Chapter 8.54, applicants shall submit a Recycling Management Plan to the Community Development Department prior to the issuance of any construction permits, unless the requirement is waived pursuant to Section 8.54.050.
12. Pursuant to Municipal Code Chapter 11.17, dumping of residues from washing of painting tools, concrete trucks and pumps, rock, sand, dirt, agricultural waste, or any other materials discharged into the City storm drain system that is not composed entirely of storm water is prohibited. Liability for any such discharge shall be the responsibility of person(s) causing or responsible for the discharge. Violations constitute a misdemeanor in accordance with Section 11.17.060.B.
13. Pursuant to Municipal Code Section 12.16.140, the operation of construction, demolition, excavation, alteration, or repair devices and equipment within all residential zones and areas within a 500 foot radius of residential zones shall only take place during the following hours:
Weekdays – Between 8:00 a.m. and 6:00 p.m.
Saturdays – Between 9:00 a.m. and 5:00 p.m.
Sundays – Prohibited
City holidays (not including Sundays) – Between 9:00 a.m. and 7:00 p.m.
14. Pursuant to Municipal Code Section 18.12.100, existing sewer service laterals shall be inspected for surface water connections and leakage at the time of remodeling of any building. Deteriorated service laterals shall be repaired prior to approval of the building permit.
15. Permits required by other agencies having jurisdiction within the construction area must be obtained in accordance with the respective agency's regulations.
Marin Municipal Water District – (415-945-1400), including landscaping and irrigation regulations;
Southern Marin Fire Protection District -- (415-388-8182); and
Bay Conservation and Development Commission – (415-352-3600).
16. Pursuant to Municipal Code Section 10.54.100, construction activities undertaken in accordance with a design review permit shall comply with the construction time limit regulations based upon the project's valuation. Construction projects which are not completed within the time limits are subject to daily penalties.

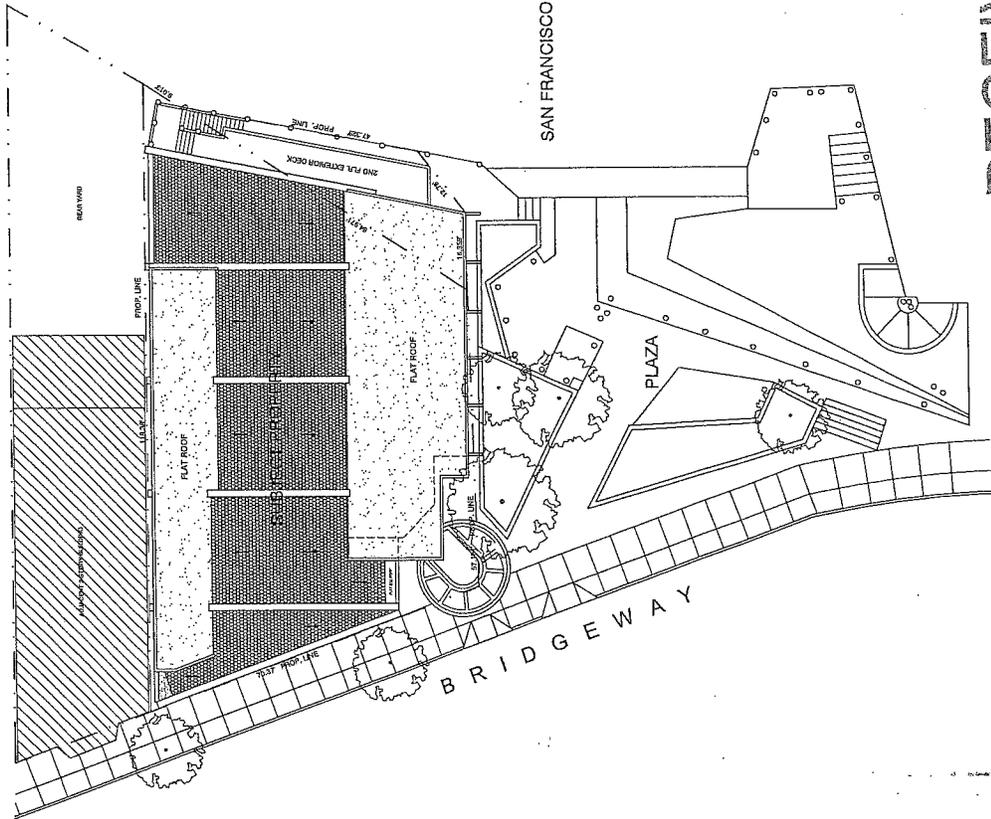
PLANNING COMMISSION and HISTORIC LANDMARKS RESOLUTION
FEBRUARY 22, 2012
DR/ SP 11-332
660 BRIDGEWAY

ATTACHMENT 3: PROJECT PLANS

NEW RESTAURANT | BAR

660 BRIDGEWAY, SAUSALITO, CA

SITE PLAN / VICINITY MAP



DRAWING INDEX

- ARCHITECTURAL**
- A0.0 VICINITY SITE PLAN, PROJECT DATA, PROJECT DIRECTORY
 - A0.1 EXISTING GROUND FLOOR PLAN
 - A0.2 PROPOSED GROUND FLOOR PLAN
 - A1.0 PROPOSED SECOND FLOOR PLAN
 - A1.1 PROPOSED ROOF PLAN
 - A1.2 PROPOSED ROOF PLAN
 - A2.0 HLBPLANNING APPROVED EXTERIOR ELEVATIONS, TRELIS DETAILS
 - A2.1 HLBPLANNING APPROVED NORTH ELEVATION, EASTWEST SECTION
 - A2.2 PROPOSED EXTERIOR ELEVATIONS, TRELIS DETAILS
 - A2.3 PROPOSED NORTH ELEVATION, LONGITUDINAL SECTION

APPLICABLE CODES

- 2007 CALIFORNIA BUILDING CODE (2006 IBC WITH STATE AMENDMENTS)
- 2007 CALIFORNIA MECHANICAL CODE (2006 UMC WITH STATE AMENDMENTS)
- 2007 CALIFORNIA ELECTRICAL CODE (2005 NEC WITH STATE AMENDMENTS)
- 2007 CALIFORNIA PLUMBING CODE (2006 UPC WITH STATE AMENDMENTS)
- 2007 TITLE 24-CALIFORNIA ENERGY CODE
- CITY OF SAUSALITO CONSTRUCTION ORDINANCES

PROJECT DATA

PROJECT DESCRIPTION:
 FULL SERVICE RESTAURANT AND BAR, NEW RESTROOMS, KITCHEN, BAR, EMPLOYEE RESTROOM, AND INTERIOR PARTITIONS ON 2ND FLOOR, NEW HVAC SYSTEM, NEW LIGHTING AND NEW SOUTH AND EAST ELEVATION, NEW H.C. FRAME FROM 2ND FLOOR RECEPTION AREA TO SPILT LEVEL DINING AREA, STRUCTURAL MODIFICATIONS TO REPLACE TIMBER COLUMNS WITH STEEL, AND REPLACE DETERIORATED ROOF ASSEMBLY AT NORTH END OF BUILDING AND REPORT TO BE FULLY SPRINKLERED.

FIRE SPRINKLERS: SUBJECT BUILDING IS TO BE FULLY SPRINKLERED.

ANSI: FIRE SPRINKLER SYSTEM FOR TYPE I HOODS UNDER SEPARATE PERMIT.

ALL EXTERIOR SIGNAGE TO BE UNDER SEPARATE PERMIT.

EXISTING BUILDING PERMIT NO.: 099-481

ZONING: C2-105 CENTRAL COMMERCIAL, HISTORICAL DISTRICT

BUILDING CONSTRUCTION TYPE: V9

GROUND FLOOR LEVEL/OCCUPANCY: M/B

EXISTING FLOOR LEVELS/OCCUPANCY SEPARATION: 1-HR.

EGRESS CALCULATIONS:
 MAIN SPACE MAXIMUM DIAGONAL DISTANCE: 108'-0"
 EXIT DISTANCE PROVIDED: 54'-0"

PROJECT AREA CALCULATIONS:
 2ND FLOOR: 464 SQ. FT.
 GROUND FLOOR INTERIOR: 464 SQ. FT.
 TOTAL PROJECT AREA: 928 SQ. FT.

OPERATIONS/SERVICE AREA TOTAL:
 2100 SQ. FT.
 5220 SQ. FT.
 4317 SQ. FT.

TOTAL OCCUPIED AREA @ 15 SQ. FT. PER PERSON:
 280 PERSON OCCUPANCY ALLOWED

PLUMBING FIXTURE AND FITTINGS COUNT PER UPC:
 3127.5 F.T. TOTAL (130 = 124 PERSONS; 52 MALE AND 52 FEMALE)

MALE: 91 - 150 PERSONS
 TWO WATER CLOSETS
 ONE URINAL

FEMALE: 91 - 150 PERSONS
 ONE LAVATORY, TWO PROVIDED
 ONE LAVATORY, TWO PROVIDED

ONE AREA OCCUPANT LOAD FACTOR REQUIRED FOR RESTROOM REQUIRED
 (ONE AREA OCCUPANT LOAD FACTOR IS OVER 100 PERSONS)

SEATING COUNT

LOUNGE AREA	18 SEATS
DINING 1	22 SEATS
DINING 2	18 SEATS
PIZZA BAR	6 SEATS
OUTDOOR DECK	10 SEATS
TOTAL CAPACITY	108 SEATS

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 CITY OF SAUSALITO
 COMMUNITY DEVELOPMENT

PROJECT DATA

VICINITY MAP

OWNER: MR. CHRIS HENRY
 660 BRIDGEWAY SAUSALITO, CA
 NEW RESTAURANT | BAR

A0.0

DATE: 01/11/12

SCALE: AS SHOWN

PROJECT NO. 099-481

OWNER: MR. CHRIS HENRY

PROJECT NO. 099-481

DATE: 01/11/12

SCALE: AS SHOWN

PROJECT NO. 099-481

OWNER: MR. CHRIS HENRY

OWNER:
 CHRIS HENRY
 660 BRIDGEWAY
 SAUSALITO, CA 94965
 PHONE: (415) 837-2262

INTERIOR DESIGN:
 HENRY LORA
 660 DE HARO STREET
 SAN FRANCISCO, CA 94103
 PHONE: (415) 921-1218
 EMAIL: ellora@gsblab.net

STRUCTURAL ENGINEER:
 DOUBLE D ENGINEERING
 720 O'NEILL AVENUE
 SAN FRANCISCO, CA 94103
 PHONE: (415) 951-1509
 EMAIL: ellora@gsblab.net

M/E/P ENGINEER:
 HENRY LORA
 660 DE HARO STREET
 SAN FRANCISCO, CA 94103
 PHONE: (415) 921-1218
 EMAIL: ellora@gsblab.net

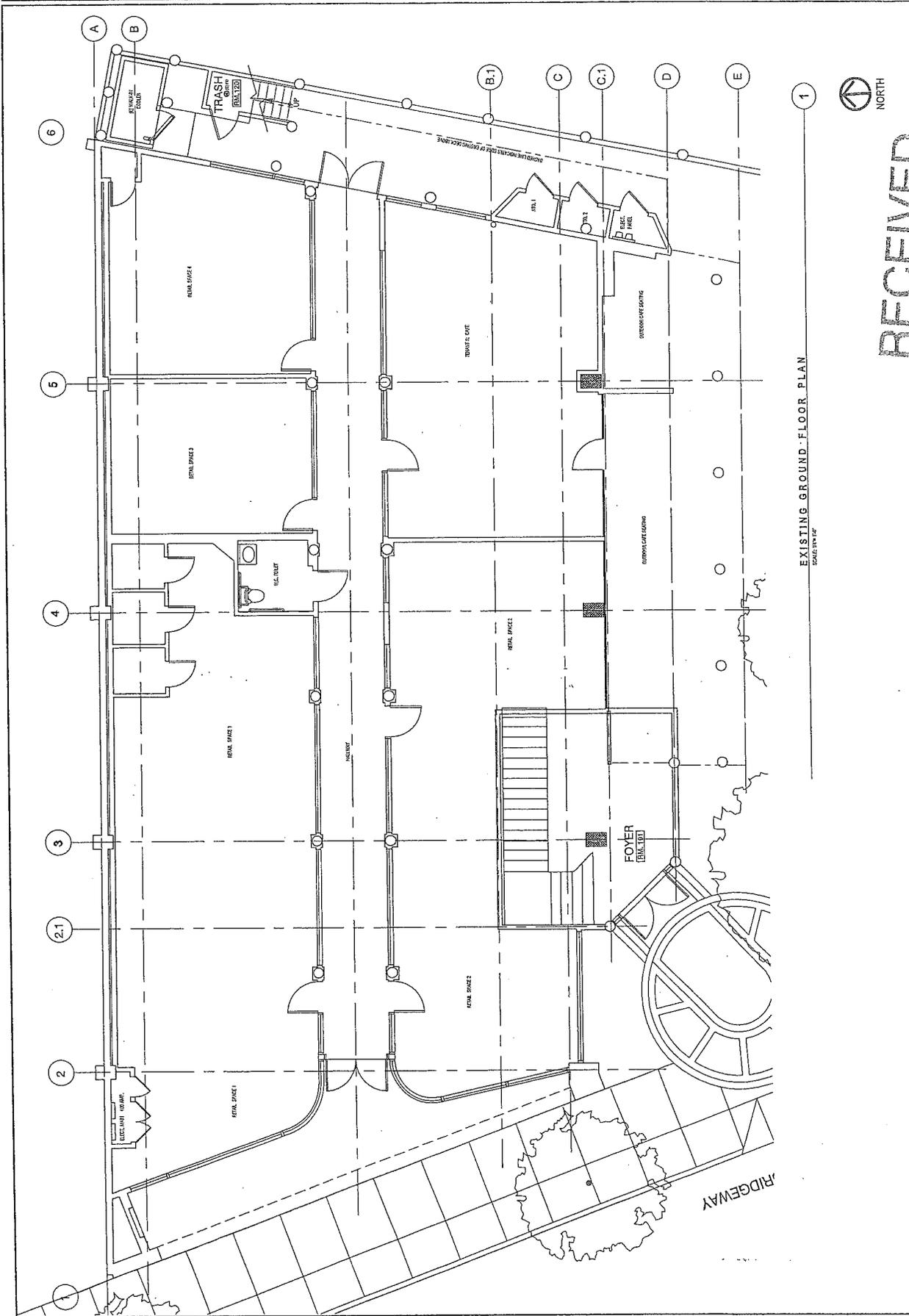
KITCHEN EQUIPMENT:
 TRI MARK ECONOMY RESTAURANT
 1206-7TH STREET
 SAN FRANCISCO, CA 94107
 PHONE: (415) 332-5911
 EMAIL: jmm@trismarkkitchen.com

LIGHTING DESIGN:
 STUDIO 321
 321 CHURCH STREET
 SAN FRANCISCO, CA 94114
 PHONE: (415) 409-9900
 EMAIL: info@studio321.com

PROJECT DIRECTORY

ARCHITECTURAL

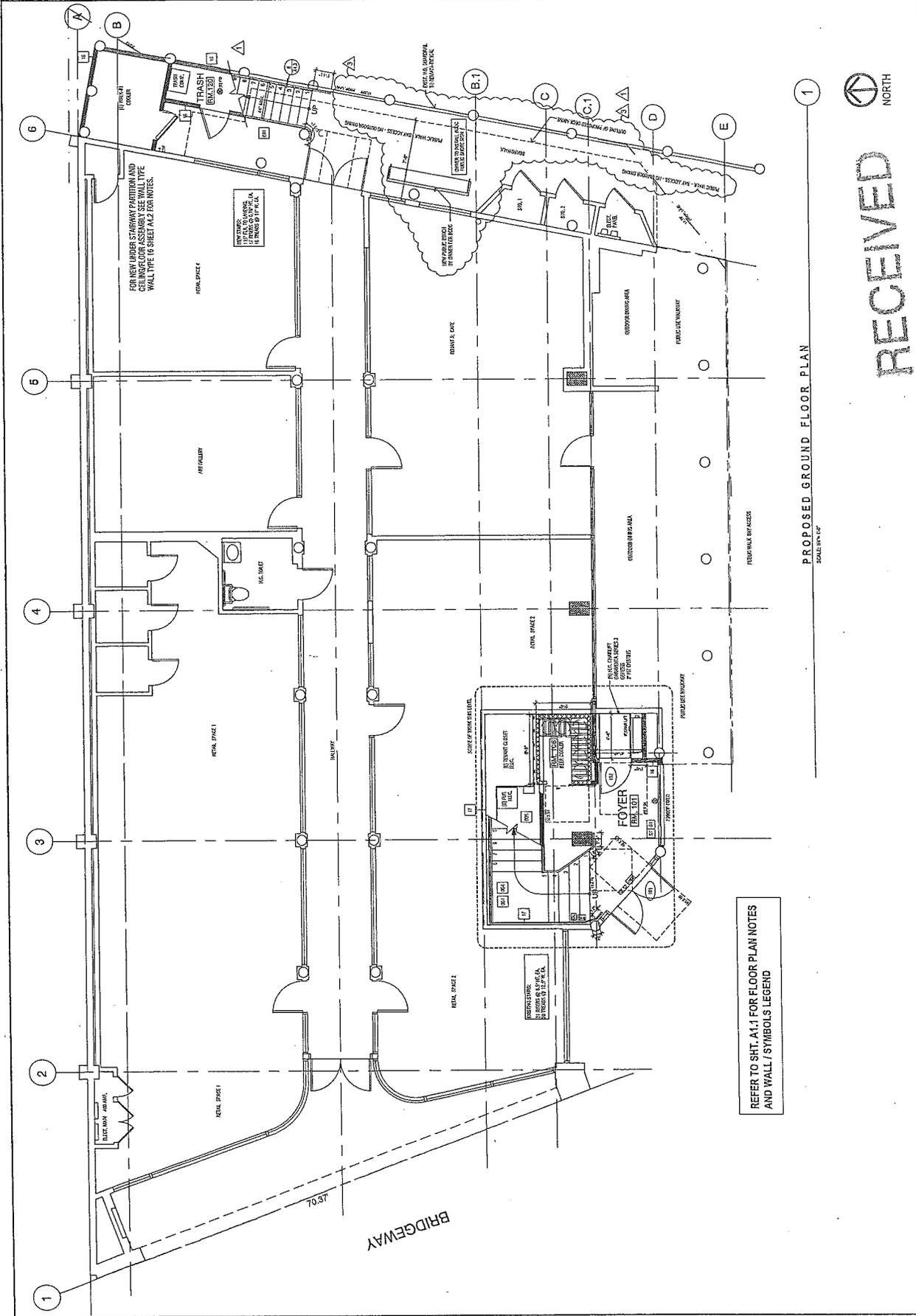
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NEW RESTAURANT BAR	DATE: 02/13/12	SCALE: AS NOTED	PROJECT: SA
650 BRIDGEWAY SAUSALITO, CA	DATE: 02/13/12	SCALE: AS NOTED	PROJECT: SA
EXISTING GROUND FLOOR PLAN	DATE: 02/13/12	SCALE: AS NOTED	PROJECT: SA
FILE: A0.1	DATE: 02/13/12	SCALE: AS NOTED	PROJECT: SA



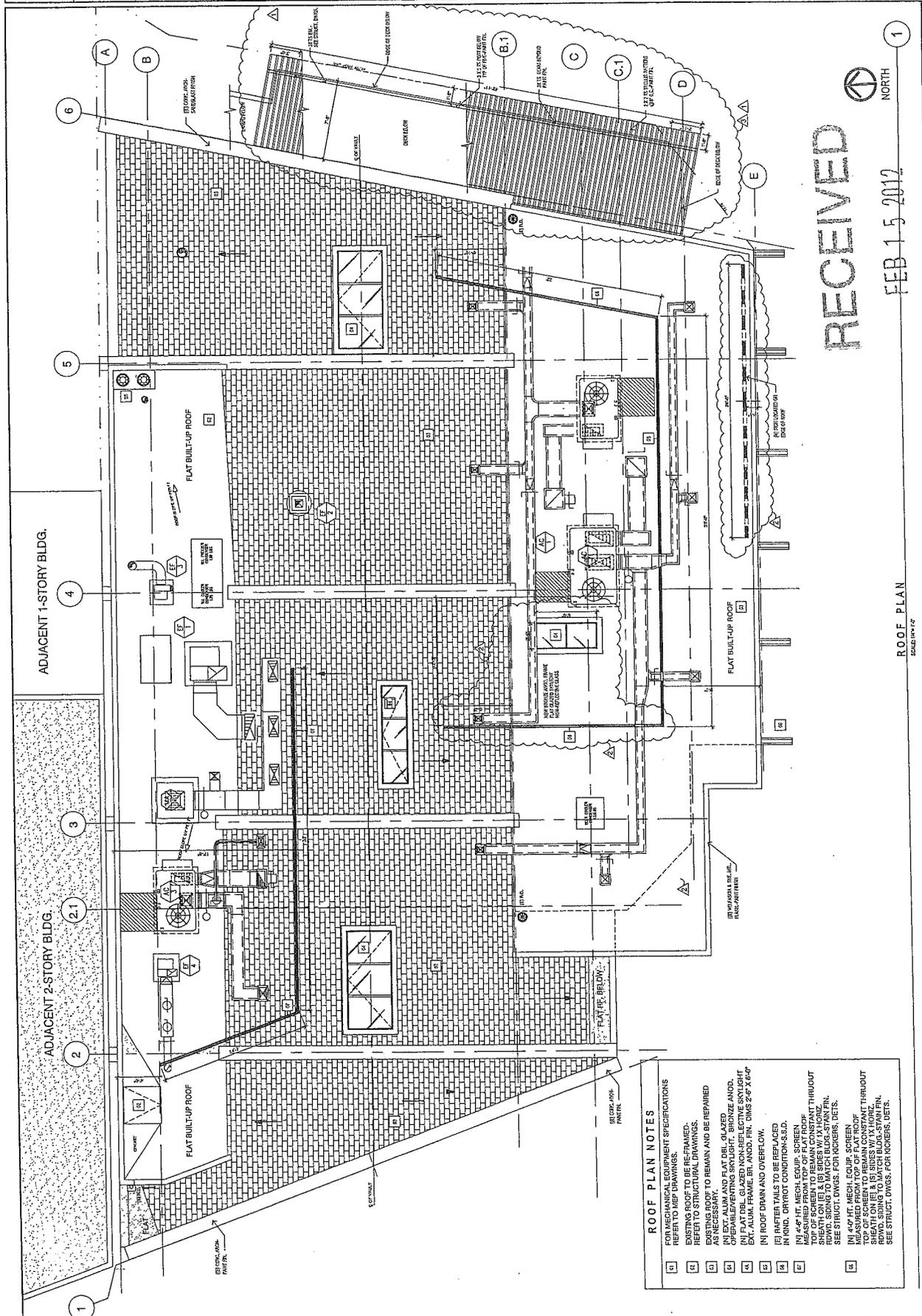
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COMMUNITY DEVELOPMENT



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 COMMUNITY DEVELOPMENT

- ROOF PLAN NOTES**
- (1) FOR MECHANICAL EQUIPMENT SPECIFICATIONS REFER TO MECH DRAWINGS.
 - (2) EXISTING ROOF TO REMAIN AND BE REPAIRED. REFER TO STRUCTURAL DRAWINGS.
 - (3) EXISTING ROOF TO REMAIN AND BE REPAIRED AS NECESSARY AND FLAT DRIL, GLAZED OPERABLE/VENTING SKYLIGHT, BRONZE AND. EXT. ALUM. FRAME, BR. CAPED DR. SING 6" x 6"
 - (4) (N) FLAT DRIL GLAZED NON-REFLECTIVE SKYLIGHT. EXT. ALUM. FRAME, BR. CAPED DR. SING 6" x 6"
 - (5) (N) ROOF DRAIN AND OVERFLOW.
 - (6) (R) RAFTER TAILS TO BE REPLACED IN KIND, DRYROT CORRECTED.
 - (7) (N) MECH EQUIP. TO BE REPLACED AND REFRIGERANT RECHARGED. MEASUREMENTS FROM TOP OF FLAT ROOF TO TOP OF SCREEN TO REMAIN CONSTANT THROUGHOUT.
 - (8) (N) MECH EQUIP. TO BE REPLACED AND REFRIGERANT RECHARGED. MEASUREMENTS FROM TOP OF FLAT ROOF TO TOP OF SCREEN TO REMAIN CONSTANT THROUGHOUT.
 - (9) (N) 40" HT. MECH. EQUIP. SCREEN TO REMAIN CONSTANT THROUGHOUT. SHEATH ON (E) & (S) SIDES NOT HORIZ. SLOPE. SEE STRUCT. DWGS. FOR RICKERS DETS. SEE STRUCT. DWGS. FOR RICKERS DETS.

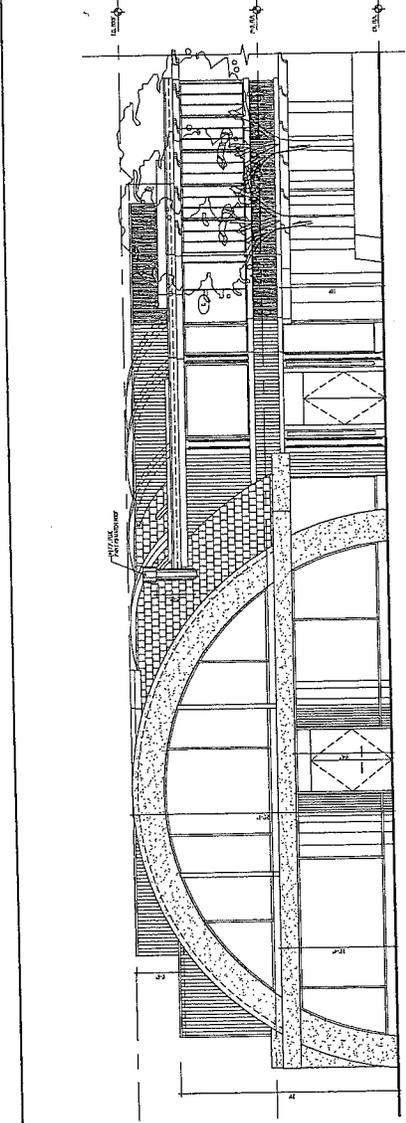
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	11/18/2011	AS NOTED			

A2.0

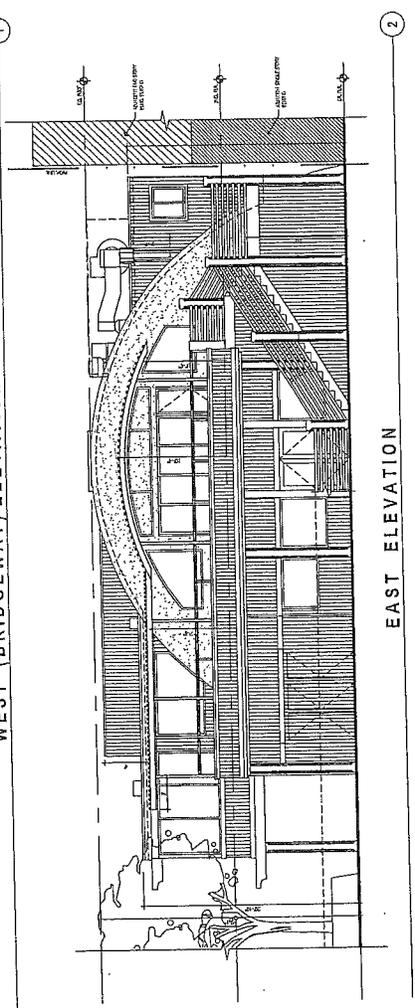
HLB/PLAN APPROVED
EXTERIOR ELEVATIONS

NEW RESTAURANT | BAR
660 BRIDGEWAY SAUSALITO, CA
OWNER: MR. CHRIS HENRY

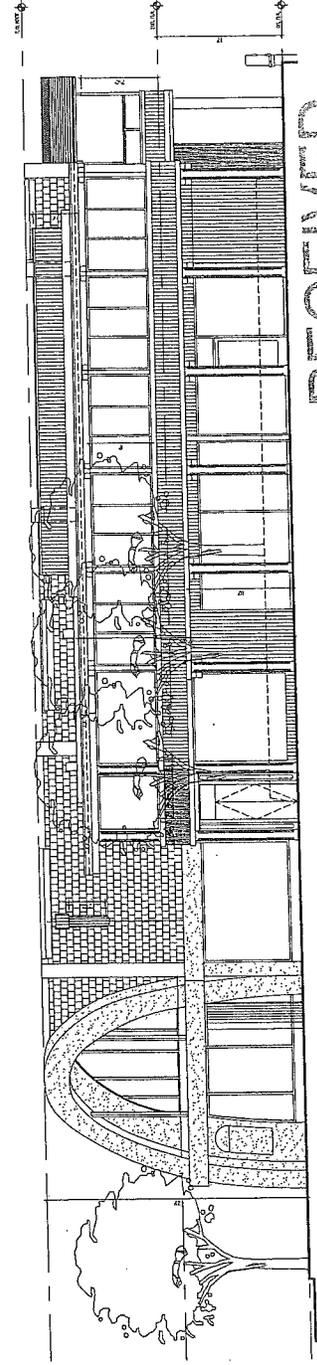
NO.	DATE	COMMENTS
1		ISSUED FOR PERMITS



WEST (BRIDGEWAY) ELEVATION



EAST ELEVATION



SOUTH ELEVATION

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FEB 15 2012
CITY OF SAUSALITO
COMMUNITY DEVELOPMENT

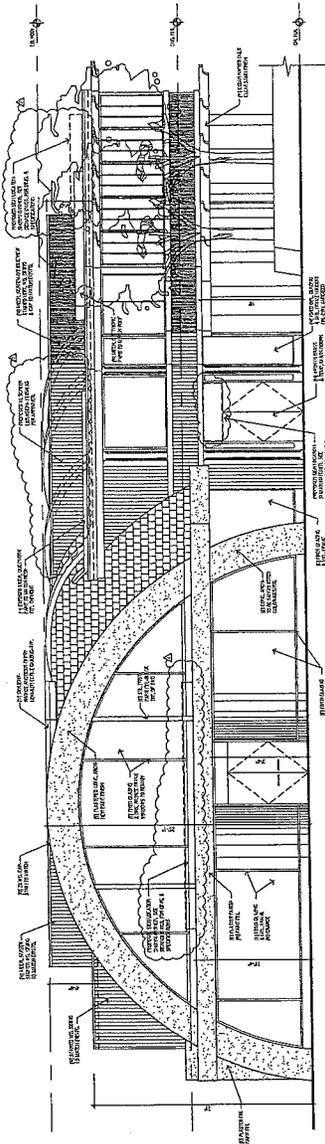
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2		2		2		2	
3		3		3		3	
4		4		4		4	
5		5		5		5	

NEW RESTAURANT | BAR
690 BRIDGEWAY SAUSALITO, CA
OWNER: MR. CHRIS HENRY

PROPOSED
EXTERIOR ELEVATIONS
TRELLIS DETAILS

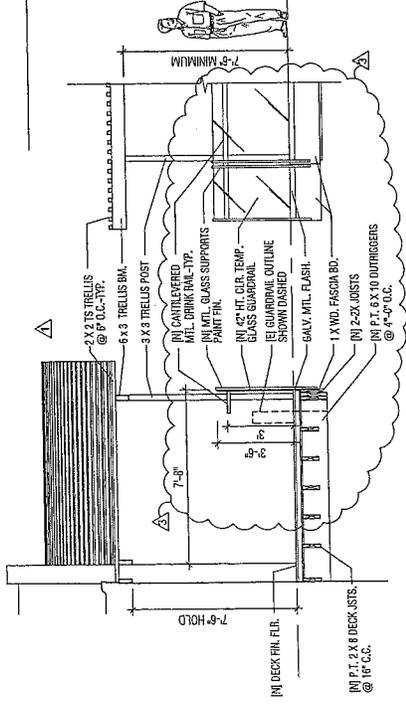
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A2.2



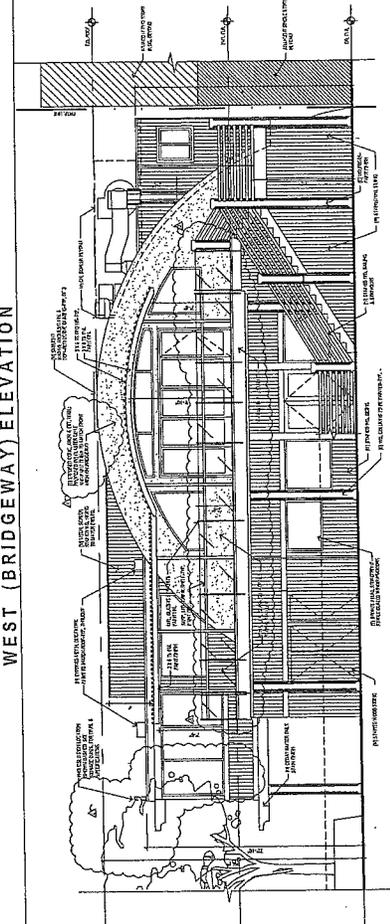
WEST (BRIDGEWAY) ELEVATION

1



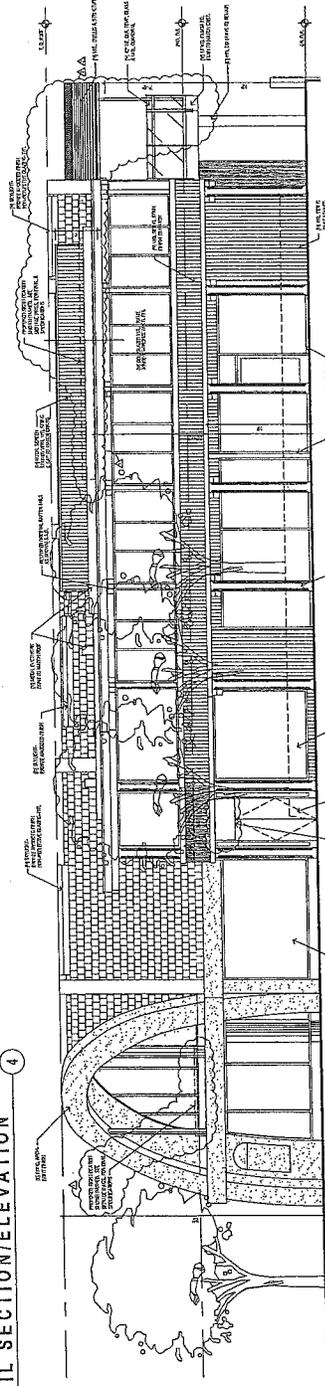
TRELLIS & GUARDRAIL SECTION/ELEVATION

4



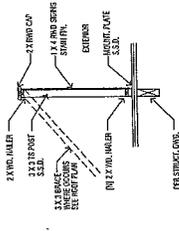
EAST ELEVATION

3



SOUTH ELEVATION

5



EQUIPMENT SCREEN
NOT TO SCALE

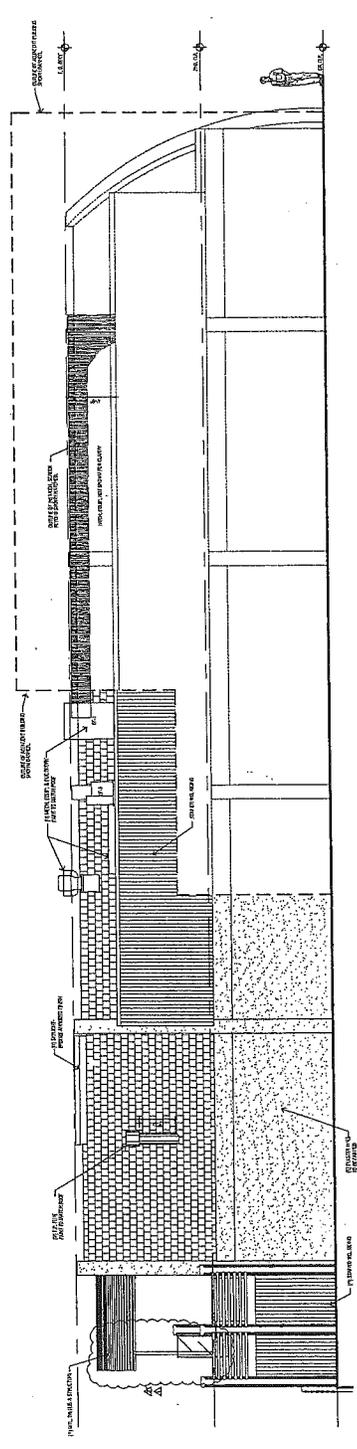
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FEB 15 2012

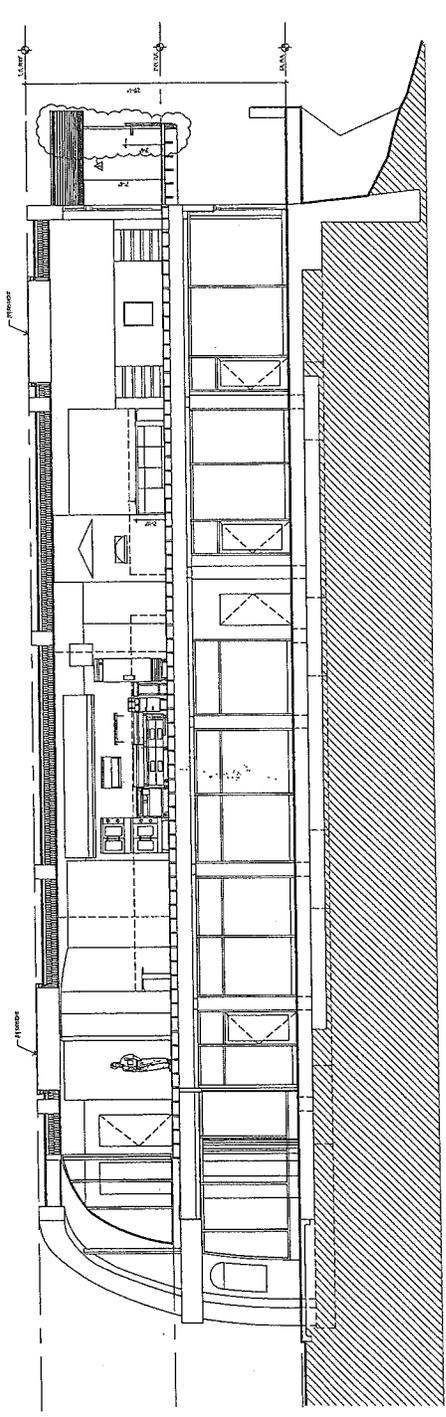
CITY OF SAUSALITO
COMMUNITY DEVELOPMENT

dlsassy : lora dated 2.1.12 12/12/12 12/12/12 12/12/12		NO. DATE COMMENTS 1 12/12/12 2 12/12/12 3 12/12/12		OWNER: MR. CHRIS HENRY 680 BRIDGEWAY SAUSALITO, CA NEW RESTAURANT BAR		PROPOSED NORTH ELEVATION LONGITUDINAL SECTION		SHEET NO. 12/12/12 SCALE AS SHOWN PROJECT NO. 12/12/12 CITY SA A2.3	
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NORTH ELEVATION

1

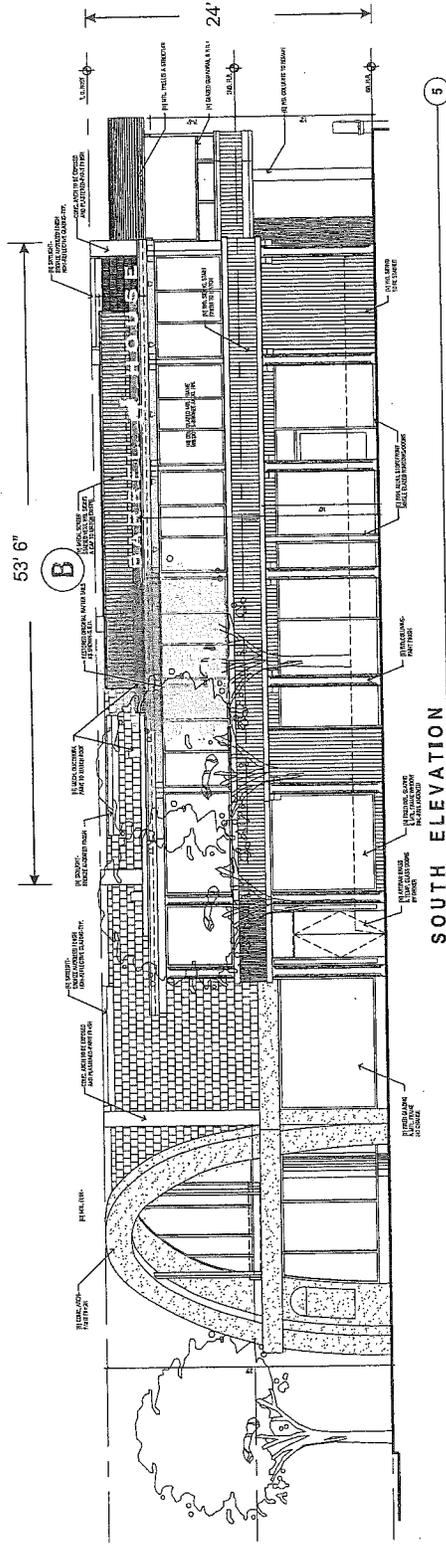


EAST / WEST BUILDING SECTION

2

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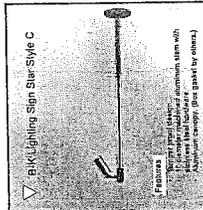
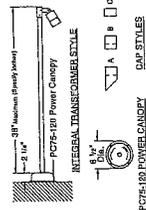
FEB 15 2012
 CITY OF SAUSALITO
 COMMUNITY DEVELOPMENT



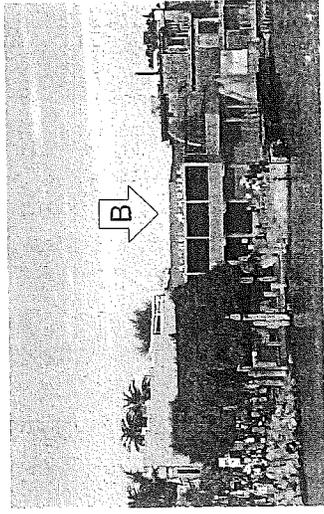
SOUTH ELEVATION

317.5"

B 13.5" **BARREL HOUSE** PLANNING COMMISSION ACTION # 11000000 - 2012-04
 Date: 2/22/11
 Director of Planning
 CITY COUNCIL ACTION
 Date: _____
 Director of Planning



Business Facade: 24' x 53' 6" = 1224 sq ft
 Sign Area: 13.5' x 317.5" = 29,76 sq ft.
 29,76 sq ft sign area = 2.32% of Business facade.
 Sign Area Length: 53' 6" / 317.5" Letter Length = 49.5% of Sign Area Length

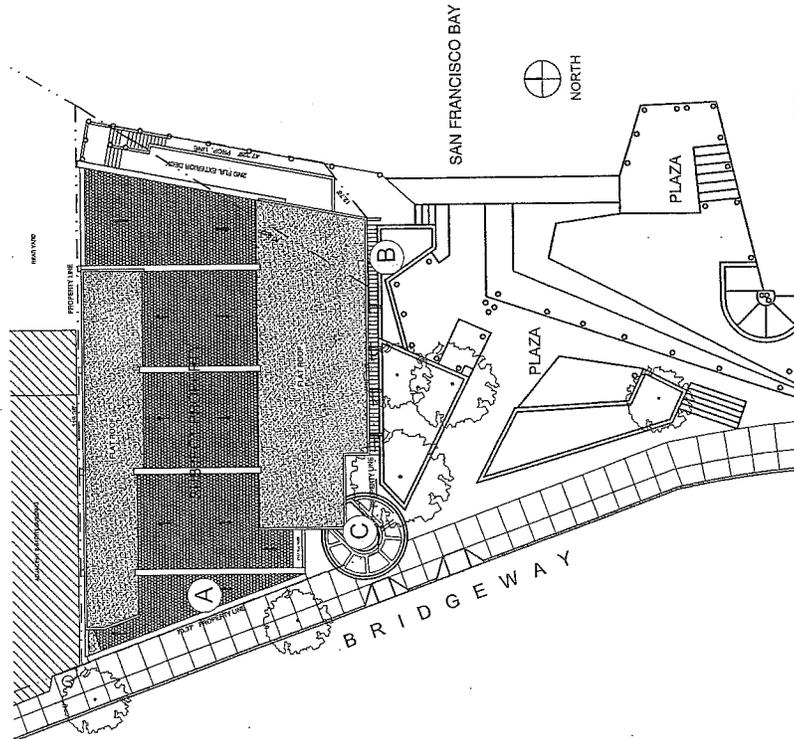


Barrel House Restaurant
 680 Bridgeway
 Sausalito, CA

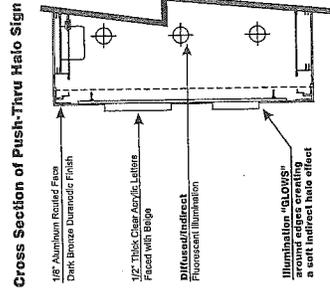
Barrel House Restaurant
 680 Bridgeway St., Sausalito, CA 94965
 Tel: 415.338.1111
 www.barrelhouse.com

Plans Prepared by: Mark Barber 1-6-12 Page 2, Sign B

SITE PLAN/CINITY



(A) (B)
 Freestanding Bottom
 Mount Bronze Letters



(C) Cross Section of Push-Thru Halo Sign

WALL SIGN CALCULATIONS

- (A) Business Facade: 25' 6" x 47' 5" = 1209 sq ft
 Sign Area: 12" x 282" = 23.5 sq ft
 23.5 sq ft sign area = 1.94% of Business facade.
 Sign Area Length: 47' 5" / 282" Letter Length =
 49.5% of Sign Area Length
- (C) Business Facade: 190" x 87" = 114.8 sq ft.
 Sign Area: 24" x 60" = 10 sq ft.
 10 sq ft sign area = 8.7% of Business facade.
 Sign Area Length: 87" / 60" Letter Length =
 68.9% of Sign Area Length

PLANNING COMMISSION ACTION
 Approved - PAS 2.012.01
 Date: 7/17/12
 Director of Planning
 CITY COUNCIL ACTION

Date _____
 Director of Planning

Barbet Signs
 SIGNAGE & LIGHTING
 600 Pennsylvania St., Suite 201, San Francisco, CA 94102
 415-442-2233 Fax: 415-442-0086
 www.barbet.com

Plans Prepared by:
 Mark Barber
 1-6-12
 Page 3, Signs A, B, C

SCOPE: Page 1:
 Fabricate & Install:
 A. (1) set 12" Satin Bronze
 Fabricated Letters and Logo
 No Illumination
 B. (1) set 13" Satin Bronze
 Fabricated Letters & Logo
 External Illumination
 C. (1) 24" x 60" +/- Aluminum
 Sign with 1/2" Push-Thru Halo
 illuminated letters & logo.
 Dark Bronze Duranodico background,
 Satin Bronze letters & logo.

Barrel House Restaurant
 660 Bridgeway
 Sausalito, CA

Sign A: 23.5 sq ft
 Sign B: 29.75 sq ft
 Sign C: 10 sq ft
 Total: 63.25 sq ft