

# STAFF REPORT

## SAUSALITO PLANNING COMMISSION AND HISTORIC LANDMARKS BOARD

**Project** Casa Madrona Renovation / 801 Bridgeway  
Design Review Permit and Nonconformity Permit  
DR/NC 10-377

**Meeting Date** October 26, 2011

**Staff** Alison Thornberry-Assef, Assistant Planner

ATA

### REQUESTS

- Approval of a **Design Permit** to install a glass awning above the hotel entrance, to repair portions of the William Barrett House (referred to herein as Old Casa Madrona) damaged by dry-rot and to remodel the interior of the structure;
- Approval of an after-the-fact **Design Review Permit** for the installation of air conditioning and heating units on the exterior of the Casa Madrona Hotel buildings; and
- Approval of a **Nonconformity Permit** to convert an existing nonconforming restaurant use on the lower floor of the Old Casa Madrona structure to two luxury hotel suites at the Casa Madrona Hotel and Spa at 801 Bridgeway.

### PROJECT INFORMATION

**Applicant** Ryan Schoen

**Property Owner** Casa Madrona Hotel and Spa, LLC

**Location/Size** Casa Madrona Hotel and Spa  
801 Bridgeway; APN 065-063-46  
43,700 square feet (see **Exhibit A** for vicinity map)

**General Plan** Central Commercial

**Zoning** Central Commercial (CC) District;  
Multi-Family Residential (R-3) District;  
Downtown Historic Overlay District

**Design Guidelines** Historic Design Guidelines are not applicable since the project was determined to be complete prior to adoption of the Guidelines.

**Authority** Exterior renovations including, installation of the glass awning, installation of the air conditioning and heating units and the remodel of the Old Casa Madrona, located in the Historic Overlay District require a Design Review Permit per Section 10.54.050.B.11.

The conversion of a nonconforming use such as a restaurant to a less intensive nonconforming use such as two hotel guest rooms requires a Nonconformity Permit per Section 10.62.040.

**CEQA:** The renovation and use modification of the Casa Madrona Hotel and Spa is Categorical Exempt from the California Environmental Quality

Act (CEQA), in accordance with Section 15301(a)(d), Existing Facilities, of the CEQA Guidelines.

## **BACKGROUND**

### **SITE HISTORY**

Located at the Casa Madrona Hotel and Spa site are two parcels. The parcel to the south is 777 Bridgeway, the New Casa Madrona Circa 1980's structure that houses the restaurant Poggio on the ground floor and an existing structure to the rear of the property. The parcel to the north is 801 Bridgeway, the Casa Madrona Buildings A, B and C, the Old Casa Madrona, and four existing cottages all which are used in the Casa Madrona Hotel and Spa operations. Building A is the site of the main hotel entrance as accessed from Bridgeway (see coversheet of Exhibit C for locations of buildings).

The building at 777 Bridgeway, and a portion of the buildings at 801 Bridgeway, were constructed in the early 1900s.

- From **1959 to 1961** the property owners obtained a series of Conditional Use Permits (CUPs) and parking variances to convert the garage structure in to retail and restaurant uses.
- In **1983**, the portion of the Casa Madrona Hotel on 801 Bridgeway was expanded and access from Bridgeway was constructed.
- In **2002** a Design Review Permit, Conditional Use Permit, Encroachment Agreement, and Variance was granted for a proposed meeting room space, restaurant, and modification of the existing restaurant use at the Old Casa Madrona structure to 6 hotel guest rooms, and associated use of the right-of-way for sidewalk dining at 777 and 801 Bridgeway.
- The **2002** approval contained a Condition of Approval that required a Parking Management Plan which was later approved at the Staff level.
- The **2002** modification from the restaurant use to hotel guest rooms in the Old Casa Madrona structure was never effectuated and that aspect of the approval has since expired.

### **PROJECT HISTORY**

On November 15, 2010 Don Olsen and Associates submitted an application for a Sign Permit for the installation of a wall sign and awning located at the lobby entrance of the Casa Madrona Hotel and Spa located at 801 Bridgeway. And on December 15, 2010 Don Olsen and Associates submitted an application for a Design Review Permit for the repair and replacement of damaged and rotted siding, trim and windows to match the existing structures at the Casa Madrona Hotel and Spa located at 801 Bridgeway.

Both projects were heard and considered at the February 16, 2011 joint hearing of the Planning Commission and HLB. At that hearing the Sign Permit was continued to a date uncertain so the applicant could modify the design per the Planning Commission's and HLB's comments. Also at the hearing, a Design Review Permit to allow the repair and restoration of damaged and rotted siding, exterior trims and windows of the existing Buildings A, B and C at the Casa Madrona Hotel and Spa was approved, but approval for any work on the Old Casa Madrona structure required additional research and was continued to a date uncertain.

Since the February 16, 2011 hearing, the original applications for the Sign Permit and Design Review Permit have been modified and a new project was submitted for a Design Review Permit that includes:

- The installation of a glass awning located above the hotel entrance, to repair damaged and rotted portions of the Old Casa Madrona structure and to remodel the interior of the structure;
- An after-the-fact approval for the installation of air conditioning and heating units on the exterior of the Casa Madrona Hotel buildings; and

- A Nonconformity Permit to convert an existing restaurant use on the lower floor of the Old Casa Madrona structure to two luxury hotel suites at the Casa Madrona Hotel and Spa at 801 Bridgeway.

The HLB met and discussed the new proposed glass entrance awning design on March 30, 2011. The HLB appreciated the challenging problem of designing a canopy that would complement the modern façade of the building, while blending in with the adjacent restaurant façade to the south. The HLB found that they could support the revised awning design because the awning provided a softer curve which blends into the rustication of the building and is complementary to the project site and streetscape. The HLB agreed the project could move forward, as designed, to the joint hearing with the Planning Commission.

The HLB met again on September 14, 2011 to discuss the after-the-fact approval of heating and air conditioning units that had previously been installed on the exterior of the hotel's buildings. At the meeting the HLB discussed the fact that they supported the location and aesthetics of the vents that had previously been installed.

Also at the September 14, 2011 HLB meeting, a presentation was given by a project team comprised of the applicant, Ryan Schoen, Scott Mass and Tall Safdie of Safdie Rabines Architecture, and Bryan Rickling of Heritage Architecture and Planning, where they explained the existing conditions and proposed modifications to the Old Casa Madrona structure. The project concept consists of remodeling the lower level of the structure to accommodate two hotel suites, all non-historic interior and exterior additions would be removed, including a front addition that was constructed in the 1960's. The project team indicated they would try to integrate or preserve all original aspects of the structures design. The HLB determined the project could move forward to the joint hearing as long as the applicant could demonstrate how any modification to the Old Casa Madrona structure would comply with the Secretary of the Interior Standards for the Treatment of Historic Properties.

On October 7, 2011 the applicant submitted plans for the glass entrance awning, the after-the-fact heating and air conditioning units, the renovation of the Old Casa Madrona and the modification of the restaurant use. During a closer review of the project plans and archive files of the site while compiling the Staff Report, Staff noted an error had been made while reviewing of the site and proposed project entitlements. Staff noted that the property where the Old Casa Madrona structure is located is in the R-3 Zoning District and not the CC Zoning District as the rest of the hotel. The restaurant use located in the R-3 Zoning District is considered to be legal nonconforming; therefore, a Nonconformity Permit is required to change the use to two hotel guest rooms. In order for Staff to proceed with the project as proposed, the public hearing will need to be continued to a later date, in order for Staff to re-notice the project as a Nonconformity Permit.

#### **ROLE OF THE HISTORIC LANDMARKS BOARD AND PLANNING COMMISSION**

The first part of the review involves the Design Review Permit for the installation of a glass entrance awning at the Casa Madrona Hotel and Spa, renovation of the Old Casa Madrona and the after-the-fact permitting of the installation of air conditioning and heating units on the exterior of the structures. Since the project is located in the Downtown Historic Overlay District, the Design Review Permit is under the authority of both the Planning Commission and the Historic Landmarks Board (HLB), and a joint meeting must be held to review and act upon the Design Review Permit. As stated in Section 10.46.060, both the Planning Commission and the HLB have authority to review the Design Review Permit, and must favorably make the findings listed in Section 10.54.050.D to approve the Design Review Permit for the awning, air conditioning and heating units, and the remodel and the findings listed in Section 10.46.060.F for the renovations to the Old Casa Madrona.

The second part of the review involves a Nonconformity Permit application for the modification from a restaurant use to hotel use in the Old Casa Madrona. A change in land use does not require the approval of the HLB; therefore, the Planning Commission solely has the authority to review the Nonconformity Permit and must favorably make the findings listed in Section 10.62.070.G to approve the Nonconformity Permit.

## **PROJECT DESCRIPTION**

### **SITE DESCRIPTION**

The project site is composed of a steep upward sloping parcel and is developed with eight buildings as part of the Casa Madrona Hotel and Spa. The structures include three larger buildings near the front of the property on Bridgeway, the Old Casa Madrona structure located directly behind the three larger buildings and four small cottages scattered throughout the site.

The Hotel and Spa's main entrance is located at 801 Bridgeway in the Casa Madrona Building A fronting on Bridgeway.

### **PROJECT DESCRIPTION – STRUCTURES AND LAND USE**

#### ***Awning***

The applicant is proposing an awning at the hotel lobby entrance of the Bridgeway frontage. The canopy material will be glass with a steel support system. The steel will be painted blue to match the building trim.

#### ***Air Conditioning and Heating Units***

Each building, other than the Old Casa Madrona structure has air conditioning and heating units for each hotel guest room installed on the exterior of the buildings. Some of the installed units are visible from the exterior and others are hidden behind balconies of other similar features. All units have been painted to match the existing structure's siding.

#### ***Old Casa Madrona***

The proposed rehabilitation of the Old Casa Madrona will provide much needed improvements for the historic building. The structural system for the building will be strengthened; replacing some heavily damaged non-historic beam and posts. The exterior of the building will be cleaned, repaired, and painted. New roofing material will replace the existing deteriorated roof. Many non-historic interiors at the second and third floors will be sensibly restored. The first floor will be redesigned as compatible spaces with guest room uses instead of the previous assembly and commercial kitchen spaces.

The first floor of the Old Casa Madrona has historically been used as a restaurant and consists of a main entry hall, wine cellar, two small bathrooms, a commercial kitchen and storage areas, a storage room, a series of connected assembly rooms, and a sun room. The proposed redesign of the first floor will modify the space into two luxury hotel suites, changing the land use from restaurant to hotel.

## **PROJECT ANALYSIS**

### **GENERAL PLAN CONSISTENCY**

To approve the proposed project the Planning Commission must determine that the project is consistent with all applicable General Plan policies. The following portions of the General Plan are relevant to the proposed project:

***Policy LU-2.9 Downtown Historic Character: Protect the historical character of the Downtown area.***

*Staff Comment:* The HLB has determined that the glass awning and installation of the air conditioning and heating units will not have any effect on the existing character of the buildings, and will protect the historical character of the Downtown area.

The proposed modifications and renovation to the Old Casa Madrona will enhance the structure, and keep the historic aspects and character of the building. Based on the applicant's research on the Old Casa Madrona, the site analysis completed and the proposed design, the project as proposed is in compliance with *The Secretary of the Interior Standards for Rehabilitation*, which guides Federal agencies in carrying out historic preservation responsibilities.

### **ZONING CONSISTENCY**

#### ***Design Review – Historic Overlay District***

Pursuant to Section 10.46.010, the purpose of the Historic Overlay District is to “Preserve structures that are unique and irreplaceable assets to the City and its neighborhoods”. A Design Review Permit within the Historic Overlay District is required for the proposed renovation.

#### **Awning**

In reviewing the proposed awning design, Staff has noted that many of the Commission's and HLB's previous concerns regarding the original design have been addressed including:

- The proposed design has been softened to match the character of the structure and architecture of surrounding buildings and store fronts.
- The arch of the awning will blend with existing awnings located on the structure directly to the south, Poggio Restaurant.
- The awning has a steel support system, and because of the glass design, they are a highly visible design element. The steel beams have been softened and shortened to go well with the design of the glass and showcase the architecture.

The applicant has worked with Staff and the HLB to submit an appropriate awning design for that site and location. However, the requested awning as submitted still does not comply with the City's awning standards. The awning as submitted would be located six feet eight inches above ground over the public walkway, whereas awnings are required, by Section 10.42.060.B of the Zoning Ordinance, to have an eight foot clearance above ground over walkways, for the purposes of pedestrian safety. Staff has created a Condition of Approval requiring the modification of the lowest point of the canopy to the required eight feet above ground (see **Exhibit D** for Conditions of Approval).

#### **Air Conditioning and Heating Units**

While working on tenant improvements for each of the hotel guest rooms, the applicant determined that new air conditioning and heating units would be required to be installed on the exterior of each guest room. An application was submitted by the applicant for a Design Review Permit to install the units, and it was later determined that the units had already been installed and the project moving forward would be an after-the-fact Design Review Permit application. All of the installed units have been painted to match the existing structure's façade, and many of the units have been hidden or contained behind balconies and other similar features.

In order to approve or conditionally approve the Design Review Permit, the Planning Commission and Historic Landmarks Board must determine that the proposed project is in conformance with the required findings listed in Sections 10.54.050.D of the Zoning Ordinance. Staff concludes the requisite findings can be made to approve the glass awning and air conditioning and heating units, with the Conditions of Approval (see **Exhibit D**).

### Old Casa Madrona

Some exterior and interior alterations are needed at the Old Casa Madrona in order to assure continued use, but it is most important that such alterations do not radically change, obscure, or destroy character-defining spaces, materials, features, or finishes.

The historic fabric at the Old Casa Madrona contains several levels of quality from good to poor condition depending upon the exposure to environmental or external elements and how repairs have been executed over the years. Fabric is defined as the elements and materials of which a building is made such as brick masonry, wood trim, windows, doors, and finishes. Each feature, containing, in some cases, several types of historic fabric, adds to the overall character and helps to support the 1875-1899 Period of Significance.

The analysis of historic fabric is based on subjective criteria in accordance with *The Secretary of the Interior's Standards for the Treatment of Historic Properties (The Standards)*. Three basic levels are used to describe the existing condition of the historic fabric: Good, Fair, and Poor.

All aspects of the structure's renovation have been given Historic Treatment Recommendations intended to address the historic treatment and character of the building based upon the proposed rehabilitation. A complete Historic Evaluation was performed by the applicant's consultant, Heritage Architecture and Planning, to determine the different historic aspects of the structure, and provide Historic Treatment Recommendations for the proposed renovation (see **Exhibit B**).

Based on the Old Casa Madrona research and site analysis completed by Heritage Architecture & Planning, and the proposed design, *The Secretary of the Interior's Standards for Rehabilitation* is shown below with a statement of compliance related specifically to each Standard.

1. *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

The Old Casa Madrona was built as a single family residential property and was converted to a hotel use in 1910. The property will continue to be used as a hotel. The existing historic fabric will be retained and preserved on the second and third floors. The first floor interior will be modified by rearranging the historic section of stairs, to allow for the proposed redesign to the guest suite.

2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

The proposed project does not remove any historic material, but will modify the first floor stair. The site, exterior, and interiors will preserve the character of the property which will be improved by the removal of some non-historic features, mainly on the exterior. The majority of the historic fabric will be retained and preserved. The only modification of historic features will be to the stair at the first floor. The lower leg of the stair will be rotated 90 degrees and enclosed by a wall as part of the proposed guest room modifications. The treatment of the stair will allow for its future reuse. The alteration of the stair does not fully comply with this Standard. All other proposed work for the rehabilitation of the property will retain and preserve the existing historic material and will comply with Standard 2.

3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

The changes proposed for the building will not create a false sense of historical development. The building will be historically rehabilitated without adding any conjectural features or architectural elements from other buildings and all proposed changes shall be compatible yet differentiated to allow understanding of the work that was undertaken to rehabilitate the building.

- 4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

Some changes have occurred at the Old Casa Madrona, mainly at the first floor level. Heritage Architecture and Planning determined that the first floor changes were relatively recent and have not acquired historical significance. The added kitchen and assembly rooms date back from the 1960s to more recent changes. The other elements of the building will be retained and preserved but the more recent changes at the first floor will be modified as part of the proposed rehabilitation project.

- 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*

The distinctive features, finishes, and examples of craftsmanship at the Old Casa Madrona will be preserved and in some cases restored. The majority of the historical features will be retained and preserved including the three fireplaces, original doors, original windows, wood trim, and other features noted in this evaluation. The only modification will be the first floor stair. The stair will be rotated 90 degrees and enclosed by a wall as part of the proposed guest room modifications. This one modification does not fully comply with Standard 5.

- 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

The majority of the historic features are in good to fair condition. Some minor repairs will be required for some features. The wood siding, wood windows, and wood doors will require some minor repair as part of the rehabilitation project. There are no historic features that are anticipated to be replaced or replicated as part of this project.

- 7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

The surface treatment of the historic features will be completed using the gentlest means possible to achieve a new finished surface. Many will only require cleaning, minor sanding, and repainting. Other areas will require additional preparation prior to repairs and repainting or varnishing. No physically harming treatments, such as sandblasting, will be employed during this rehabilitation work.

- 8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*

No significant archaeological resources are known to exist at the site. If an archaeological site is discovered, it shall be addressed prior to moving forward with the proposed project.

9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

The proposed exterior alterations and additions will not destroy any historic materials that characterize the Old Casa Madrona. The proposed rehabilitation work includes replacing some non-historic elements at the first floor rear elevation. This work will not destroy historic materials of the existing historic property. The new work will be differentiated yet compatible with the historic property and its environment.

10. *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

There are no new additions to this property. Alterations will occur at the first floor rear elevation. These alterations of the non-historic materials will have no impact on the existing historic elements of the building. Some small additions on the north façade will remain and will be included as part of the proposed rehabilitation work. Other north elevation non-historic elements will be removed as part of the rehabilitation project. Overall, the essential form and integrity of the historic property and site will be unimpaired.

In order to approve or conditionally approve the Design Review Permit, the Planning Commission and Historic Landmarks Board must determine that the proposed project is in conformance with the required findings listed in Sections 10.46.060.F and 10.54.050.D of the Zoning Ordinance. Staff concludes the requisite findings can be made to approve the Design Review Permit, with the Conditions of Approval.

#### ***Nonconformity Permit***

Pursuant to Section 10.62.010, the purpose of the Nonconformity Permit is to "provide a permit process for substituting one nonconforming use with another nonconforming use of similar or less intensive character" (Zoning Ordinance Section 10.62.010). In the case of the proposed use modification, the project would reduce the intensity of the existing restaurant use in the R-3 Zoning District portion of the 801 Bridgeway property by converting this use to two guest rooms. Two guest rooms would be less intensive than the restaurant in terms of foot traffic from hotel or spa customers and guests, the parking need would decrease as hotel rooms generate less vehicle traffic than a restaurant, the level of noise would be lessened as there would be less people frequenting the establishment. The Casa Madrona Hotel and Spa has historically been used as a hotel use, and converting the restaurant to additional hotel rooms would be keeping with the original intent of the site. Staff finds that the addition of two new luxury hotel suites is an appropriate replacement for this restaurant space.

In order to approve or conditionally approve the Nonconformity Permit, the Planning Commission must determine that the proposed project is in conformance with the required findings listed in Section 10.62.070.G of the Zoning Ordinance. Staff concludes the requisite findings can be made to approve the Nonconformity Permit, with the Conditions of Approval.

#### **CONCLUSION**

The project, as proposed, meets all the requisite findings, and complies with *The Secretary of the Interior's Standards for the Treatment of Historic Properties*. The proposed project will need to be re-noticed as a Nonconformity Permit.

## **PUBLIC NOTICE AND CORRESPONDENCE**

On October 13, 2011 public hearing notices for a Design Review Permit and Conditional Use Permit were mailed to property owners within 300 feet of the project site. The project will be needed to be re-noticed to encompass the Nonconformity Permit.

No correspondence regarding the project has been received as of the writing of the staff report.

## **RECOMMENDATION**

Staff recommends the Planning Commission and Historic Landmarks Board accept public testimony:

- Review the Conditions of Approval and provide direction to the applicant and Staff; and
- Continue the public hearing to November 9, 2011, to allow Staff to re-notice the public hearing for the required Nonconformity Permit.

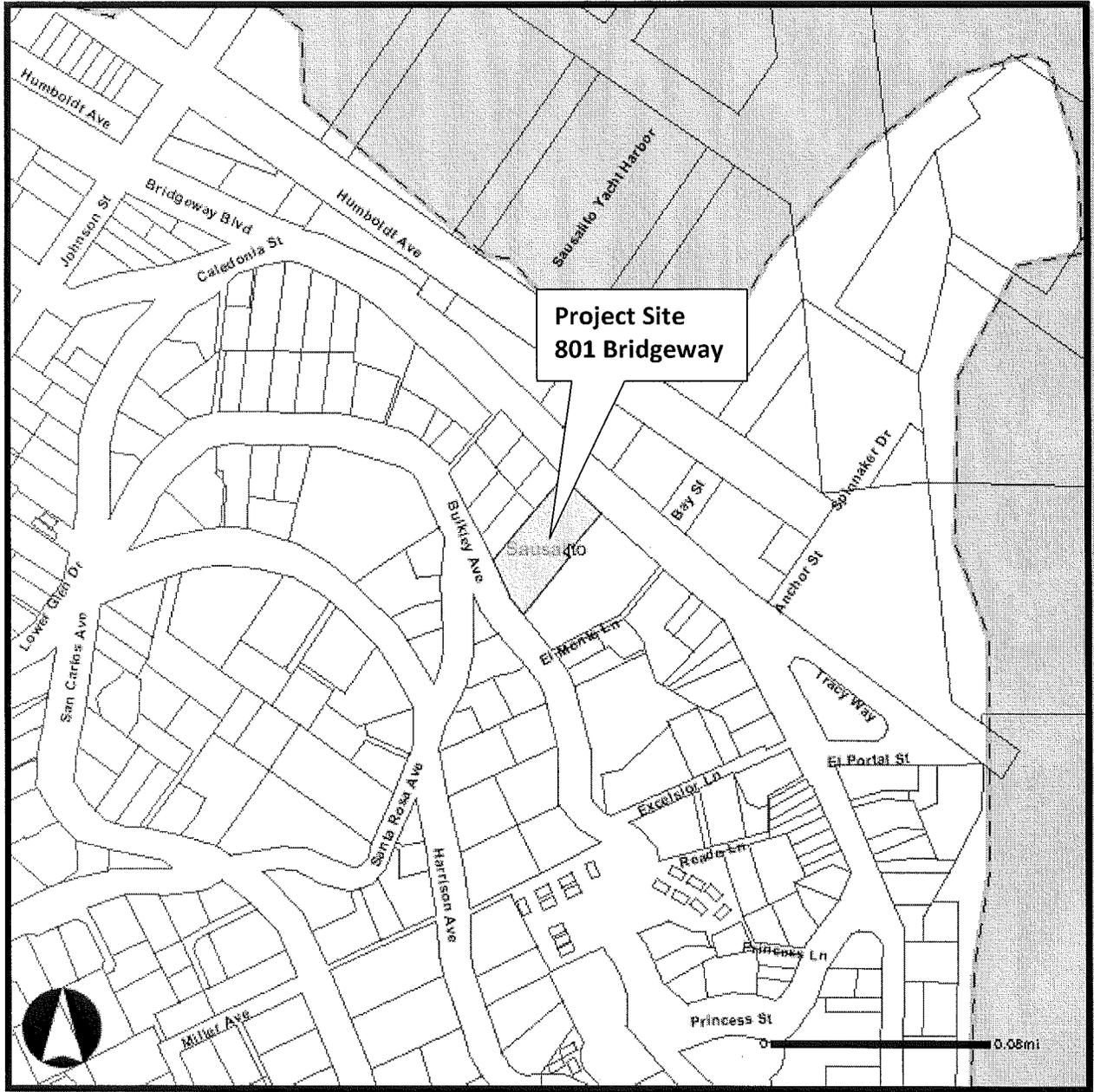
## **EXHIBITS**

- A. Vicinity Map
- B. William G. Barrett House Historic Evaluation, performed by Heritage Architecture and Planning, date-stamped received October 7, 2011
- C. Project Plans – date stamped February 4, 2011
- D. Draft Conditions of Approval

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Vicinity Map



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Exhibit A

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## INTRODUCTION

### Purpose of the Report

The Casa Madrona Hotel and the William G. Barrett House are located at 156 Bulkley Avenue, Sausalito, California overlooking Richardson Bay and San Francisco Bay. The William G. Barrett House, commonly known as the Casa Madrona, has a historic address of 156 Bulkley Avenue since the original main entrance to the house faces west onto Bulkley Avenue.

This Historic Evaluation is a preliminary review of historic preservation issues for the William G. Barrett House, preceding the final design and implementation of rehabilitation and restoration work. This Historic Evaluation documents existing conditions and serves as a basis for proposing physical changes. This document provides the project architect with the information necessary for making appropriate decisions on restoring or removing fabric, and on the level of restoration based on the property's Period of Significance, as recommended by *The Secretary of the Interior's Standards for the Treatment of Historic Properties (The Standards)*.

This Historic Evaluation has been prepared by Heritage Architecture & Planning (Heritage) for Safdie Rabines Architects and the Casa Madrona Hotel.

### Preservation Objectives

This evaluation for the William G. Barrett House is intended to promote responsible preservation practices to help protect this cultural resource. The physical characteristics and historic significance of character-defining features provide the basis for evaluating historical resources such as the William G. Barrett House. Within the framework of *The Standards*, investigation becomes crucial for "identifying, retaining, and preserving the form and detailing of those architectural materials and features that are important in defining the historic character"<sup>1</sup> of the William G. Barrett House.

The William G. Barrett House was listed in the National Register of Historic Places on June 17, 1980 as an individual structure significant for its architectural design and craftsmanship and association with the development of Marin County (NRHP).

### Methodology

An architectural investigation is the critical first step in planning an appropriate treatment, determining the character-defining features, understanding how the building has changed over time, and assessing the levels of deterioration. The following steps were taken in the documentation process at the William G. Barrett House:

<sup>1</sup> Travis C. McDonald, Jr. *Preservation Briefs 34: Understanding Old Buildings: The Process of Architectural Investigation* (Washington, D.C.: Preservation Assistance, Cultural Resources, National Park Service, U.S. Department of the Interior, September 1994), p. 1.

Exhibit B  
[6 pages]

### **Review of Existing Documents and Historical Research**

A review of information provided by Safdie Rabines Architect and the Casa Madrona Hotel was conducted by Heritage Architecture & Planning. Available documentation included historic photographs, recent photographs, and the National Register of Historic Places Registration Form (dated June 1980). Additional research materials, including more historic photographs, were gathered by Heritage at the Sausalito Historical Society in Sausalito, California. Research for the evaluation was not intended to produce a large compendium of historical and genealogical material, but rather selected information necessary for understanding the evolution of the building, its significance, and justification for the proposed rehabilitation and redesign of the first floor. The available research materials provided a sufficiently complete historical background for the building.

### **Existing Conditions Survey**

An existing conditions survey was conducted on September 13 and 14, 2011 by Senior Principal and Architect Brian Rickling of Heritage. Mr. Rickling meets The Secretary of the Interior's Qualification Standards for Architecture and Historic Architecture.<sup>2</sup> The survey documented the exterior and interior materials, features, finishes, and interior spaces of the William G. Barrett House. The survey did not include assessments of structural, landscape, archaeological, mechanical, plumbing, or electrical systems.

### **Drawings and Photographs**

An initial search by Heritage through the Historic American Buildings Survey/Historic American Engineering Record (HABS/HAER) online archive yielded no information on the building. However, a search of records at the City of Sausalito Building Department provided some drawings from the 1990 era work for the stabilization of the slope below the William G. Barrett House and the construction of the new hotel rooms and associated hotel spaces of the Casa Madrona Hotel. There were no records found for the original construction drawings of the William G. Barrett House. Photographic documentation was also conducted during the site visit.

### **Evaluation of Significance**

The process of evaluation occurs throughout the study as information is gathered, compared, and reviewed. Typically, historical data and physical evidence are reviewed to help evaluate the historical, architectural, engineering, and cultural significance of the property, its construction and use, and occupants or other persons associated with its history and development. For the William G. Barrett House Historic Evaluation, only historical and architectural significance of the property have been evaluated.

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<sup>2</sup> Heritage Architecture & Planning staff members are qualified under *The Secretary of the Interior's Qualification Standards*. Professional qualifications established by the *Secretary of the Interior's Standards and Guidelines for Archaeological and Historic Preservation* have been developed to assist State, Federal, and Local agencies, and other in identifying qualified professionals under the disciplines of history, archaeology, architectural history, and historic architecture.

This evaluation also includes determination of the period(s) of primary significance. The period of significance is the span of time when a property was associated with important events, activities, persons, cultural groups, and land uses, or when it attained important physical qualities or characteristics. Although it may be short, it can extend many years, covering a series of events, continuum of activities, or evolution of physical characteristics. Properties may also have more than one period of significance.

The period of significance begins with the date of the earliest land use or activity that has importance and is reflected by historic characteristics tangible today. The period closes with the date when the events, activities, and construction having historic importance ended. Properties that have evolved and achieved importance during separate periods, some spanning several hundred years, may be given several periods of significance.

Continuous land use, association, or function does not, by itself, justify continuing the period of significance. The length of time should be based on the years when the property historically made important contributions in the areas of significance. Fifty years ago may be used as the closing date for the period of significance if a more specific date cannot be identified.<sup>3</sup>

A Period of Significance for the William G. Barrett House has been established as 1875-1899 to capture the original design and construction as well as the period of residence by William G. Barrett. Ideally, future work should protect, restore, and recapture the exact form, features, finishes, and detailing of every extant component of the building from the period of significance.

### **Selection of Treatment Approach**

Once the William G. Barrett House's history, significance, and physical condition have been established, selection of an appropriate treatment is the next step. In selecting an appropriate treatment, *The Standards* can be particularly helpful. In use since 1978, *The Standards* are a widely accepted means of planning for and undertaking project work in a manner that preserves historic materials and elements. *The Standards* have been adopted by many state and local review entities for review of work proposals on historic structures.

*The Standards* and their accompanying Guidelines describe four different options for treatment and list recommended techniques for exterior and interior work consistent with each option. One treatment (preservation, rehabilitation, restoration, or reconstruction) is usually selected and followed throughout the course of a project involving a particular building. Application of a single treatment approach helps to avoid inappropriate combinations of work, such as restoring a building's appearance to an earlier time in history while simultaneously constructing a new addition.

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<sup>3</sup> National Park Service. *National Register Bulletin 30: Guidelines for Evaluating and Documenting Rural Historic Landscapes*. [www.cr.nps.gov/nr/publications/bulletins/nrb30/nrb30\\_8.htm](http://www.cr.nps.gov/nr/publications/bulletins/nrb30/nrb30_8.htm).

The treatments are as follows:

- a. **Preservation** focuses on the maintenance and repair of existing historic materials and retention of a property's form as it has evolved over time.
- b. **Rehabilitation** acknowledges the need to alter or add to a historic property to meet continuing or changing uses while retaining the property's historic character.
- c. **Restoration** is undertaken to depict a property at a particular period of time in its history, while removing evidence of other periods.
- d. **Reconstruction** re-creates vanished or non-surviving portions of a property for interpretive purposes.

Due to its continued use as an active component of the Casa Madrona Hotel, the recommended treatment for the William G. Barrett House is Rehabilitation.

## CONDITIONS ASSESSMENT & TREATMENT RECOMMENDATIONS

### SECRETARY OF THE INTERIOR'S STANDARDS

The Secretary of the Interior is responsible for establishing standards for all programs under Departmental authority and for advising Federal agencies on the preservation of historic properties listed in or eligible for listing in the National Register of Historic Places. In partial fulfillment of this responsibility, *The Standards* have been developed to guide work undertaken on historic buildings. There are separate standards for acquisition, protection, stabilization, preservation, rehabilitation, restoration, and reconstruction. *The Standards for Rehabilitation* (codified in 36 CFR 67.7) comprise that section of the overall preservation project standards and addresses the most prevalent treatment for the William G. Barrett House. "Rehabilitation" is defined as "the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values."

Initially developed by the Secretary of the Interior to determine the appropriateness of proposed project work on registered properties, *The Standards for Rehabilitation* (*The Standards*) have been widely used over the years as a reference for historic rehabilitation projects. In addition, *The Standards* have guided Federal agencies in carrying out their historic preservation responsibilities for properties in Federal ownership or control; the State Historic Preservation Officer (SHPO), and local officials in reviewing both Federal and non-Federal rehabilitation proposals. The intent of *The Standards* is to assist the long-term preservation of historic materials and features. *The Standards* pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and interior of the buildings.

As stated in the definition, the treatment "rehabilitation" assumes that at least some repair or alteration of the historic building will be needed in order to provide for an efficient contemporary use; however, these repairs and alterations must not damage or destroy materials, features or finishes that are important in defining the building's historic character. For example, certain treatments -- if improperly applied -- may cause or accelerate physical deterioration of the historic building. Similarly, exterior additions that duplicate the form, material, and detailing of the structure to the extent that would compromise the original historic character will fail to meet *The Standards*.

The ten rehabilitation provisions of *The Standards* are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

1. *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*
2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*
3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*
4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*
6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*
7. *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*
8. *Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*
9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
10. *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

*The Secretary of the Interior's Standards for the Treatment of Historic Properties* and its rehabilitation provisions are considered to be advisory documents.

**Secretary of the Interior's Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings:** These Guidelines were initially developed in 1977 to help property owners, developers, and Federal managers apply *The Standards* during the project planning stage by providing general design and technical recommendations. Unlike *The Standards*, the *Guidelines* are not codified as program requirements. Together with *The Standards* they provide a model process for owners, developers, and Federal agency managers to follow. *The Guidelines* are intended to assist in applying *The Standards* to project generally; consequently, they are not meant to give case-specific advice or address exceptions or rare instances.

Some exterior and interior alterations are needed at the William G. Barrett House in order to assure continued use, but it is most important that such alterations do not radically change, obscure, or destroy character-defining spaces, materials, features, or finishes. *The Secretary of the Interior's Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings*, is considered to be an advisory document.

## METHODOLOGY

The following section provides an assessment of conditions for the different building systems and materials comprising the William G. Barrett House. The assessment of the existing conditions was developed through on-site investigation of the structure. The integrity of the original materials and systems at the William G. Barrett House are related to their current condition. In general, the condition of the William G. Barrett House is good to fair and most of the original materials remain intact at the second and third floors, therefore the overall historical integrity of the building is also

good to fair. There have been some minor exterior alterations and additions including mechanical equipment for a commercial kitchen. The interior spaces on the second and third floor have some minor alterations while the first floor interior spaces have major alterations which have been completed after the 1875-1899 period of significance. The majority of the second and third floor interior spaces have good integrity. The first floor interior space has poor integrity.

### Terminology

The historic fabric at the William G. Barrett House contains several levels of quality from good to poor condition depending upon the exposure to environmental or external elements and how repairs have been executed over the years. Fabric is defined as the elements and materials of which a building is made such as brick masonry, wood trim, windows, doors, and finishes. Each feature, containing, in some cases, several types of historic fabric, adds to the overall character and helps to support the 1875-1899 Period of Significance.

The analysis of historic fabric is based on subjective criteria in accordance with *The Secretary of the Interior's Standards for the Treatment of Historic Properties (The Standards)*. There are three basic levels used to describe the existing condition of the historic fabric: Good, Fair, and Poor.

#### **1. Good Condition**

Good condition implies the fabric is stable and is not immediately threatened by environmental or external elements. An example would be paint that is faded due to ultraviolet exposure with a stable wood substrate. The existing paint can be lightly sanded and new paint applied.

#### **2. Fair Condition**

Fair condition implies the fabric has lost some of its integrity, but can be stabilized or restored with a moderate effort. An example would be flaking paint with cracks in the wood, requiring removal of portions of the paint, repair of the wood, and repainting.

#### **3. Poor Condition**

Poor condition implies that the fabric may be deteriorated beyond repair and may need to be reconstructed to return the object back to its original state or will require a major effort for restoration. An example would be almost total loss of paint and severe checking or dryrot of the wood, requiring replacement of more than one-third of the original wood with new wood.

In general, the addition of adjectives such as very, extremely, exceptionally, etc. is not recommended. The simple nomenclature of good, fair, and poor allows reasonable ranges of definition.

The recommendations below are intended to address the historic treatment and character of the building based upon the proposed rehabilitation. Sofdie Rabines Architects and the Casa Madrona Hotel will need to evaluate these recommendations based on feasibility given the building's current use and the proposed rehabilitation for the William G. Barrett House.

## EXTERIOR

**Foundation:** The existing foundation system includes board-formed concrete walls, brick foundation walls, and poured in place concrete footings. The foundation system is a compilation of different foundations that have been added to the building over the years. Subterranean portions of the foundation were not visible for inspection. There are no signs of significant deterioration to the visible foundation walls and they appear to be in good overall condition. There is some minor evidence of water infiltration at the foundation level.

### Historic Treatment Recommendations

- There are no historic treatment recommendations for the foundation. New foundation work for the proposed rehabilitation should not remove or compromise any historic foundation elements that are existing.

**Exterior Walls:** The existing exterior walls of the William G. Barrett House are wood framed walls with wood siding on the exterior and gypsum plaster on the interior. The overall condition of the exterior wood siding is fair and interior plaster finish is good. The rear of the building is supported on wood posts and beams. Some wood beams have extensive amount of dry rot and are in poor condition.

### Historic Treatment Recommendations

- Conduct a structural evaluation of the building to determine structural work required for the rehabilitation and addition to the lower level at the rear of the building. The structural report should determine if any seismic retrofit is required. The exterior walls are constructed of wood framing and the structural connections between the walls, floors, and roof are not known. Further investigation is recommended to determine if the existing structure is adequate to provide a reasonable degree of life safety.
- Preserve and protect features including the original wood siding, wood double-hung windows with flanking pilasters and protruding sills, all decorative wood brackets, projecting hip roof and wood eaves.
- Remove the cracked and chipped paint from the existing wood siding. Repair any damaged wood siding. Prime and paint the entire exterior of the building.
- Perform laboratory analysis to determine the original exterior paint colors. Repaint the building replicating the original color scheme, if found.

**Roof:** The existing roof appears to be in poor overall condition with apparent signs of minor structural deterioration or leaking. The roofing includes a combination of asphalt shingles and rolled roofing membrane over the hipped portions of the main roof, built-up roofing on the flat roof section at the lower floor addition at the rear, wood shingles over the side entry portico, and asphalt shingles over the front entry portico. The entry portico on the front and side are generally in good condition. There are also small awnings supported by wood brackets above the second floor windows that have wood fish scale shingles. The awnings are in good condition.

Historic Treatment Recommendations

- The main roof will require new roofing material. Remove the existing roofing material and repair any roofing framing or sheathing. Provide new roofing material. Wood shingles would be appropriate if allowed by the City or asphalt shingles in a dark brown color could be an alternate material to mimic the original wood shingles.
- Maintain the fish scale pattern wood shingles on the window awnings. The shingles are not original and may need to be replaced due to age and condition.
- Repair or replace the roofing materials over the two entry porticos. Wood shingles would be appropriate if allowed by the City or asphalt shingles in a dark brown color could be an alternate material to mimic the original wood shingles.
- Provide new flat roof material for the addition at the lower level at the rear of the building.

**Windows:** The historic windows at the William G. Barrett House are generally in fair condition. The exterior paint condition of many of the windows, especially those on the south and east sides of the building, is poor. There is also some evidence of moderate wood deterioration which has occurred primarily due to the poor condition of the exterior paint.

Historic Treatment Recommendations

- Restore and protect existing historic wood windows. The windows are generally in fair condition and require removal of loose and flaky paint, some wood epoxy stabilization, and repainting.
- Clean and restore existing historic window hardware to ensure good working condition.

**Exterior Doors:** The exterior doors at the William G. Barrett House are generally in fair condition. It is not known if any of the existing exterior doors are original, however, the design intent is to maintain the doors in their current location. The exterior paint condition of the doors is fair. There is also some evidence of moderate wood deterioration which has occurred primarily due to minor water related damage.

Historic Treatment Recommendations

- Restore and protect existing wood doors. The doors are generally in fair condition and require removal of loose and flaky paint, some minor wood epoxy stabilization, and repainting.
- Clean and restore existing door hardware to ensure good working condition.
- Preserve, clean and protect the glass transom above the door at the first floor northeast corner.

**Chimneys:** There are three historic brick chimneys, one on the south side and two on the north side of the building. There is one non-historic wood framed chimney on the south side of the building. All four chimneys are in good condition with no apparent sign of cracks or other structural deficiency.

Historic Treatment Recommendations

- Retain and protect existing historic chimneys. No immediate work is required. The structural evaluation of the building should review the existing condition of the chimneys and provide any structural modifications, if required.

## INTERIOR

The interior treatment recommendations have been divided into three sections: First Floor Interiors, Second Floor Interiors, and Third Floor Interiors. The first floor has little historic fabric remaining due to numerous remodels that have changed the floor plan and room finishes. The first floor will include some changes as part of the rehabilitation project for the William G. Barrett House. The second and third floor have abundant historic fabric remaining. The second floor and third floor will propose minimal changes as part of the rehabilitation.

### First Floor Interiors:

The first floor interiors consist of a main entry hall, a wine cellar, two small bathrooms, a commercial kitchen with prep and storage areas, a storage room, a stair hall, a series of connected assembly rooms, and a sun room. Overall, none of these spaces are considered to be original or historic. The only remaining historic elements on the first floor are the stair leading to the second floor, which has been modified with a door installed at the landing, and one door frame and trim for a pocket door located at the east end of the stair hall. The pocket doors are not extant.

The first floor has been modified numerous times leaving little original or historic material. The majority of the existing wood trim at the doorways and baseboards is not original and has been added recently, mimicking the fluted style used on the second and third floors. The entry door on the south elevation has a round top with a large glass panel that does not appear to be original and does not match the architectural style of the building. None of the wall finishes, floor finishes, and ceiling finishes are original to the spaces. The first floor is considered to be in fair condition.

The proposed redesign of the first floor will modify this space into two guest units that will use the south entry door for direct access. The existing stair will no longer be used for access to the first floor. The new guest room design modifies the stair by rotating the landing and last three risers 90 degrees and enclosing the stair behind a new wall. The 1960s addition at the east end of the first floor will be renovated to meet the needs of the new guest unit design. The existing non-historic sun room will be removed. The existing pair of doors, possibly historic but likely not in their original location, at the northeast corner of the first floor will remain in place. The new design is intended to be a simplified version of the historic interiors on the second and third floors.

### Historic Treatment Recommendations

- Remove the existing non-historic suspended or applied ceiling tiles and restore the original plaster ceiling or a skim coat to simulate the plaster finish.
- Preserve and protect the historic pocket door frame and trim located adjacent to the stair.
- Preserve and protect the historic fireplace and associated hearth, mantle, and shelves.
- The existing wall finishes and wood trim are likely not original. Replacement wall finishes and wood trim should be appropriately selected to be compatible with the historic architectural style of the interior spaces.
- The existing carpeting and floor finishes are likely not original. Replacement floor finishes should be appropriately selected to be compatible with the historic architectural style of the interior spaces.

- Perform laboratory analysis to determine the original interior paint color. Replicate the original color scheme, if found.

### **Second Floor Interiors:**

The second floor interiors consist of a front entrance hall, an open stairway leading to the third floor, an open stairway leading to the first floor, six individual guest rooms with private bath rooms, a storage room located off the hallway, a common sitting room, and a balcony at the rear or east side of the building. The historic interiors are of a classic Victorian design, including fluted and circular designed wood trim throughout the spaces. Most of the following Historical Treatment Recommendations are intended to promote preservation and restoration of historic fabric to improve the overall historical character of the building.

#### **Historic Treatment Recommendations**

- Paint interiors including wood trim and interior sides of windows and doors. The interior finishes are in fair condition but may need some cleaning and painting to maintain the existing historic materials.
- Preserve and protect the existing historic interior plaster walls. Some wall finishes have been modified over the years but all existing walls should be preserved where possible.
- Preserve and protect all existing historic wood trim including any picture moldings, baseboards, and wainscot trim.
- Preserve and protect the existing historic Victorian panel doors. The historic doors consist of the guest room entry doors off the main hall, pair of doors leading to the porch, and two sets of pocket doors in the rooms at the east end of the building.
- Preserve and protect the historic entrance hall and open stairways to the third floor and first floor.
- Preserve and protect the historic staircase and double balustrade, including the oversized newel post. The stair railing is in good condition and is stained and varnished. Do not paint but maintain with new varnish when required.
- Preserve and protect existing plaster rosettes and suspended chandeliers. The chandeliers do not appear to be original but are period appropriate. Replacement light fixtures, including chandeliers, should be carefully selected to be compatible with the historic architectural style of the interior spaces.
- Preserve and protect the historic fireplaces and associated hearths, mantles, mirrors and shelves.
- The existing carpeting and floor finishes are likely not original. Replacement floor finishes should be carefully selected to be compatible with the historic architectural style of the interior spaces.
- When non-historic floor finishes require replacement, consider restoring the original wood flooring instead of installing new carpet.
- Perform laboratory analysis to determine the original interior paint color. Replicate the original color scheme, if found.

### **Third Floor Interiors:**

The third floor interiors consist of a central hall, an open stairway to the second floor, seven individual guest rooms with private bath rooms, a storage room, and a small exit corridor leading to a fire escape ladder. The historic interiors are of a classic Victorian design including fluted and circular designed wood trim throughout the spaces. Most of the following Historical Treatment Recommendations are intended to promote preservation and restoration of historic fabric to improve the overall historical character of the building.

Historic Treatment Recommendations

- Paint interiors including wood trim and interior sides of windows and doors. The interior finishes are in fair condition but may need some cleaning and painting to maintain the existing historic materials.
- Preserve and protect the existing historic interior plaster walls. Some wall finishes have been modified over the years but all existing walls should be preserved where possible.
- Preserve and protect all existing historic wood trim including any picture moldings, baseboards, and wainscot trim.
- Preserve and protect the existing historic Victorian panel doors. The historic doors consist of the guest room entry doors off the main hall, interior doors within the guest rooms, and one sets of pocket doors at the east end of the building.
- Preserve and protect the historic central hall and open stairways from the third floor to the second floor.
- Preserve and protect the historic staircase and double balustrade, including the open railing surrounding the open stair in the hallway. The stair railing is in good condition and is stained and varnished. Do not paint but maintain with new varnish when required.
- Preserve and protect existing plaster rosettes and suspended chandeliers. The chandeliers do not appear to be original but are period appropriate. Replacement light fixtures, including chandeliers, should be carefully selected to be compatible with the historic architectural style of the interior spaces.
- The existing carpeting and floor finishes are likely not original. Replacement floor finishes should be carefully selected to be compatible with the historic architectural style of the interior spaces.
- When non-historic floor finishes require replacement, consider restoring the original wood flooring instead of installing new carpet.
- Perform laboratory analysis to determine the original interior paint color. Replicate the original color scheme, if found.

## ANALYSIS OF THE STANDARDS

Based on completed research on the William G. Barrett House, the site analysis completed by Heritage Architecture & Planning, and the proposed design provided by Safdie Rabines Architect for the Casa Madrona Hotel, *The Secretary of the Interior's Standards for Rehabilitation* are shown below with a statement of compliance related specifically to each Standard.

1. *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

The William G. Barrett house was built as a single family residential property and was converted to a hotel use in 1910. The property will continue to be used as a residential hotel property. The existing historic fabric will be retained and preserved on the second and third floors. The first floor will modify one historic element, the bottom section of the stair, to allow for the proposed guest suite renovation.

2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

The proposed project does not remove any historic material, but it does modify the first floor stair. The site, exterior, and interiors will preserve the character of the property which will be improved by the removal of some non-historic features, mainly on the exterior. The majority of the historic fabric will be retained and preserved. The only modification of historic features will be to the stair at the first floor. The lower leg of the stair will be rotated 90 degrees and enclosed by a wall as part of the proposed guest room modifications. The treatment of the stair will allow for its future reuse. The alteration of the stair does not fully comply with this Standard. All other proposed work for the rehabilitation of the property will retain and preserve the existing historic material and will comply with Standard 2.

3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

The changes proposed for the building will not create a false sense of historical development. The building will be historically rehabilitated without adding any conjectural features or architectural elements from other buildings and all proposed changes shall be compatible yet differentiated to allow understanding of the work that was undertaken to rehabilitate the building.

4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

Some changes have occurred at the William G. Barrett House, mainly at the first floor level. Following investigation of the entire building, it was determined that the first floor changes were relatively recent and have not been determined to have acquired historical

significance. The added kitchen and assembly rooms date back from the 1960s to more recent changes. The other elements of the building shall be retained and preserved but the more recent changes at the first floor will be modified as part of the proposed rehabilitation project.

5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*

The distinctive features, finishes, and examples of craftsmanship at the William G. Barrett House will be preserved and in some cases restored. The majority of the historical features will be retained and preserved including the three fireplaces, original doors, original windows, wood trim, and other features noted in this evaluation. The only modification will be the first floor stair. The stair will be rotated 90 degrees and enclosed by a wall as part of the proposed guest room modifications. This one modification does not fully comply with Standard 5.

6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

The majority of the historic features are in good to fair condition. Some minor repairs will be required for some features. The wood siding, wood windows, and wood doors will require some minor repair as part of the rehabilitation project. There are no historic features that are anticipated to be replaced or replicated as part of this project.

7. *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

The surface treatment of the historic features will be completed using the gentlest means possible to achieve a new finished surface. Many will only require cleaning, minor sanding, and repainting. Other areas will require additional preparation prior to repairs and repainting or varnishing. No physically harming treatments, such as sandblasting, will be employed during this rehabilitation work.

8. *Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*

No significant archaeological resources are known to exist at the site. If an archaeological site is discovered, it shall be addressed prior to moving forward with the proposed project.

9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

The proposed exterior alterations and additions will not destroy any historic materials that characterize the William G. Barrett House. The proposed rehabilitation work includes replacing some non-historic elements at the first floor rear elevation. This work will not destroy historic materials of the existing historic property. The new work will be differentiated yet compatible with the historic property and its environment.

10. *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

There are no new additions to this property. Alterations will occur at the first floor rear elevation. These alterations of the non-historic materials will have no impact on the existing historic elements of the building. Some small additions on the north façade will remain and will be included as part of the proposed rehabilitation work. Other north elevation non-historic elements will be removed as part of the rehabilitation project. Overall, the essential form and integrity of the historic property and site will be unimpaired.

## SUMMARY

The proposed rehabilitation project for the William G. Barrett House will provide much needed improvements for the historic property. The structural system for the building will be strengthened; replacing some heavily damaged non-historic beams and posts. The exterior of the building will be cleaned, repaired, and painted. New roofing material will replace the exiting deteriorated roof. Many non-historic features will be removed from the exterior providing for a more historic appearance. The existing historic interiors at the second and third floors will be sensibly restored. The first floor will be redesigned as compatible spaces with guest room uses instead of the previous assembly and commercial kitchen spaces.

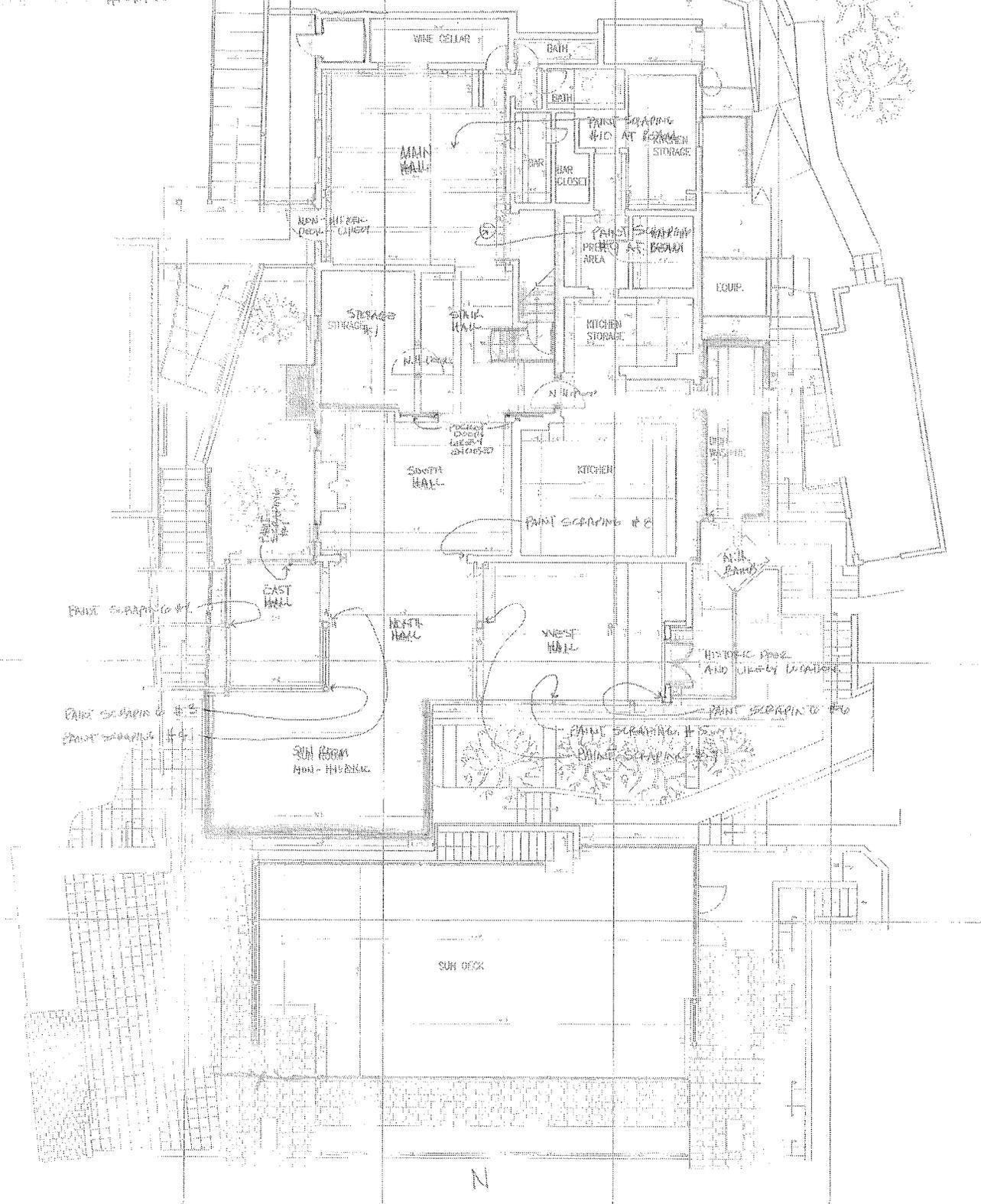
The proposed work will follow *The Secretary of the Interior's Standards for Rehabilitation* as outlined above. The majority of the historic fabric will be retained and preserved allowing the historic spaces to be used again as hotel guest rooms. The only modification of a historic feature will be the bottom portion of the stair at the first floor. This one modification will allow for efficient reuse of the space as a guest room. All other historic features and materials will be retained and preserved. The rehabilitation project for the William G. Barrett House will provide a much needed facelift to an aging structure, allowing for continued use of the property. In balance, the historic benefits of the proposed project outweigh any minor deviations from *The Standards*.

NON-HISTORIC  
HISTORIC

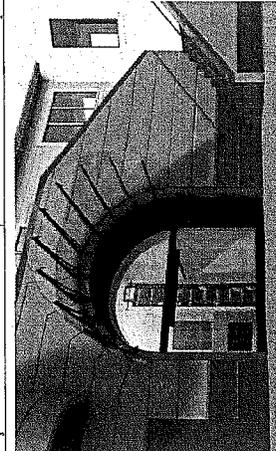
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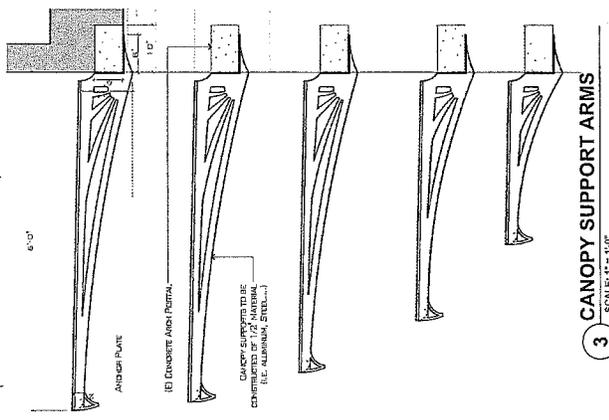




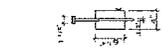


4 3D PERSPECTIVE VIEW  
NO SCALE

**AWNING DESIGN NOTES:**  
 1. GLAZE TO LEFT (SOUTH) AND AWK. PRESERVE VISUAL RECORDS. RELATE TO OTHER FLOORINGS.  
 2. SHIELD PAINTING TO MATCH WITH CONCRETE.  
 3. SHIELD PAINTING TO MATCH WITH CONCRETE.  
 4. OPEN FACED TO RELATE TO AWNING ON 777 PROPERTY.  
 5. AWNING TO REMAIN 100% WITHIN 801 BRIDGEWAY PROPERTY.



3 CANOPY SUPPORT ARMS  
SCALE: 1" = 1'-0"



**Casa Madrona**  
 Hotel Renovation  
 801 BRIDGEWAY  
 SAUSALITO, CA 94965

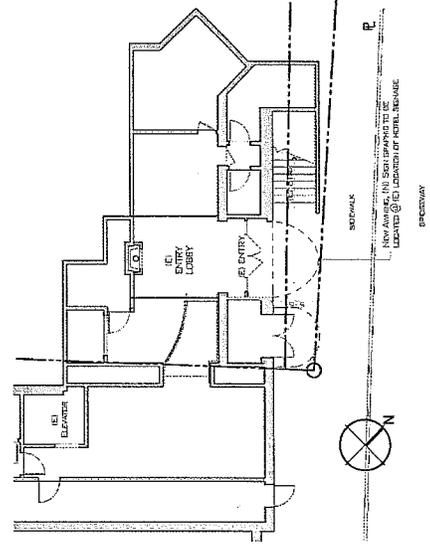
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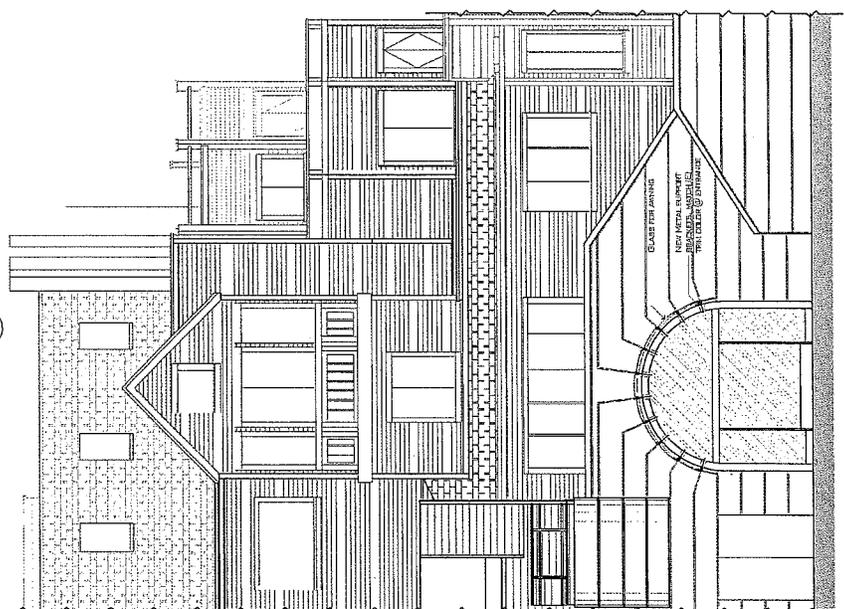
**Anchor Bolt Notes:**  
 HILTI RE-5000 SD Epoxy system  
**Bolt Type:** 3/8" x 5 1/2" Threaded Carbon Steel Rod.  
 10 Bolts total mounted 24" OC @ rear bow of frame.  
 Strength/ bolt - 3,055 lbs. Tension (pullout)  
 4,460 lbs. shear

**Totals:** Hidden Load 30,550 lbs pull out / 44,900 shear  
 Frame Dead Load 230 lbs  
 Frame Live Load 4,320 lbs (wind load - exposure B)

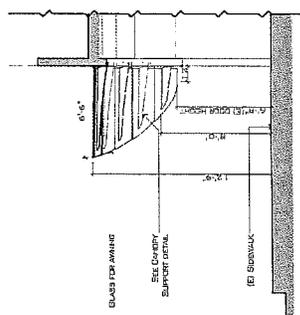
5 CONNECTION DETAIL  
SCALE: 1/4" = 1'-0"



1 LOBBY ENTRANCE PLAN  
SCALE: 1/4" = 1'-0"



2 PROFILE/ENTRANCE ELEVATION  
SCALE: 1/4" = 1'-0"



DETAILS  
 NEW AWNING, (N) SOUTH EXPOSED TO WIND  
 AWNING @ (S) SOUTHWEST OF HOTEL RENOVATION  
 PROPERTY

NOTE: CANOPY/AWNING DESIGN BY DONALD OISEN ARCHITECTS & ASSOCIATES

A1.1

OCT - 7 2011

CITY OF SAUSALITO  
 COMMUNITY DEVELOPMENT DEPT

**Casa  
Madrona**  
Hotel Renovation  
801 BRIDGEWAY  
SAUSALITO, CA 94965

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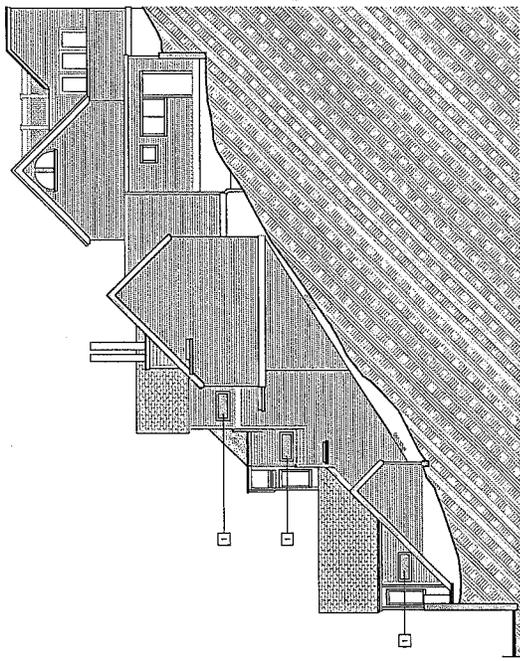


DATE: \_\_\_\_\_  
DESCRIPTION: \_\_\_\_\_  
DESIGNED BY: J. Barabito  
CHECKED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_

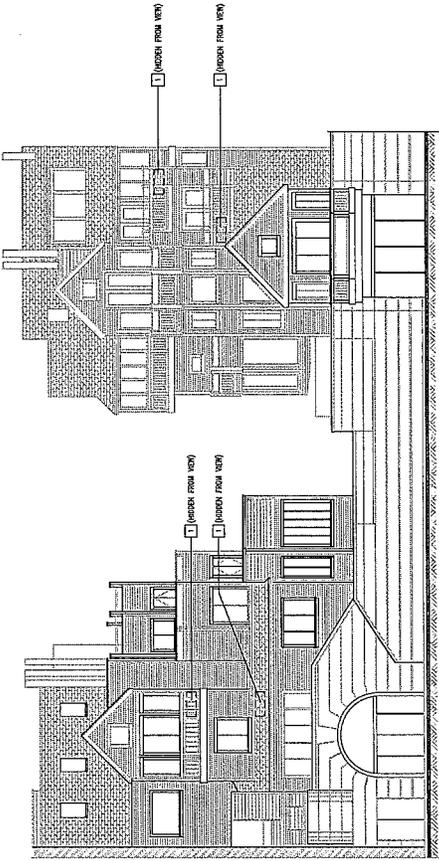
SEA PROJECT NUMBER: \_\_\_\_\_  
DATE: \_\_\_\_\_

HVAC UNIT  
LOCATIONS

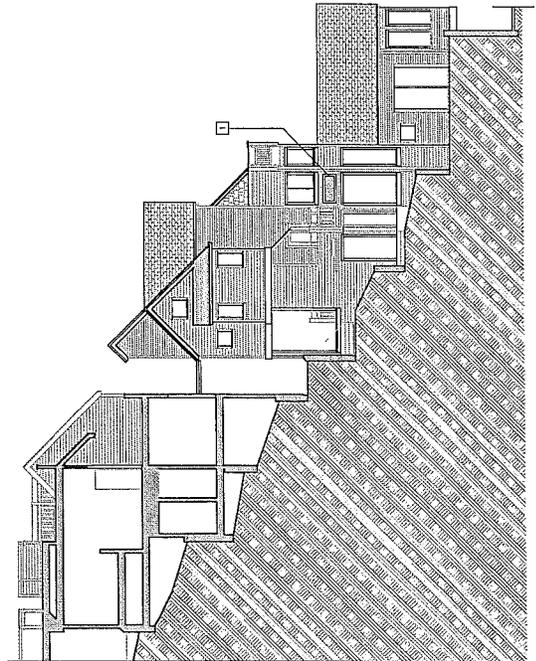
**A1.2**



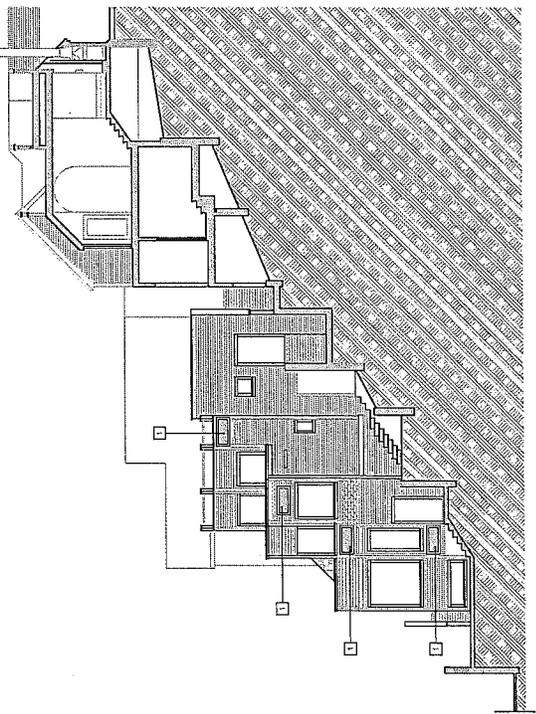
1 NORTH ELEVATION - BLDG 'B'  
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION - BLDGS 'A' & 'B'  
SCALE: 1/8" = 1'-0"

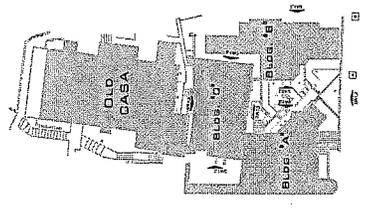


3 SOUTH ELEVATION - BLDG 'B'  
SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION - BLDG 'A'  
SCALE: 1/8" = 1'-0"

KEY PLAN



KEY NOTES  
1. SEE GENERAL NOTES  
2. SEE GENERAL NOTES  
3. SEE GENERAL NOTES  
4. SEE GENERAL NOTES

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CITY OF SAUSALITO  
COMMUNITY DEVELOPMENT DEPT

**Casa Madrona**  
 Hotel Renovation  
 801 BROADWAY  
 SAUSALITO, CA 94965

PROPERTY OWNER:  
 ATIVESTEREA HOLDINGS  
 SAN DIEGO, CA 92108  
 PH: (619) 771-9702

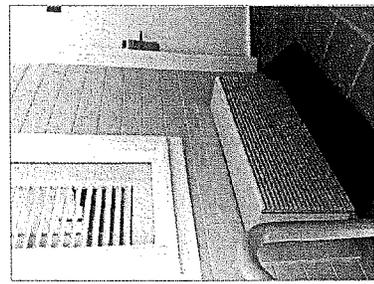
ARCHITECT:  
 SAGE PARTNERS ARCHITECTS  
 SAN DIEGO, CA 92108  
 PH: (619) 594-4072



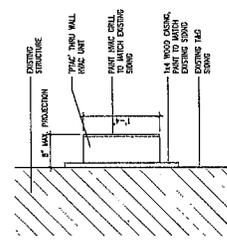
Date: \_\_\_\_\_  
 Description: HVAC UNIT  
 1. EXISTING CONDITIONS - (EXIST)  
 2. PROPOSED CONDITIONS - (PROJ)  
 DATE: \_\_\_\_\_ SCALE: \_\_\_\_\_  
 PROJECT NUMBER: \_\_\_\_\_  
 TITLE: \_\_\_\_\_

HVAC UNIT  
 LOCATIONS

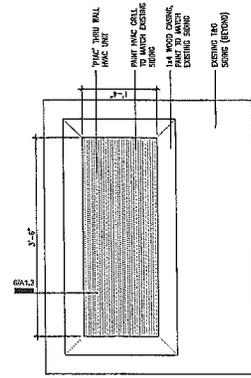
**A1.3**



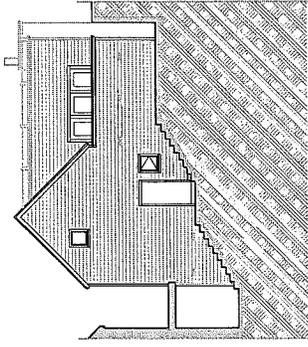
7 TYP. UNIT INSTALLATION PHOTO  
 NO SCALE



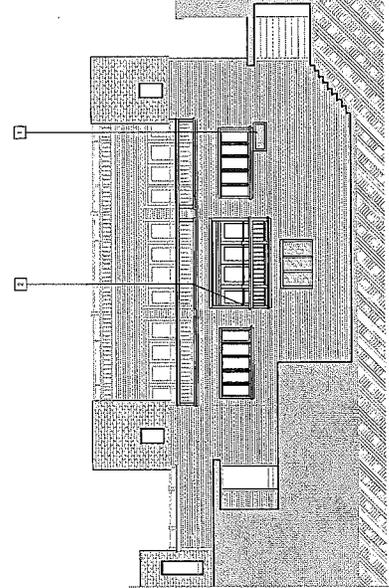
6 TYP. HVAC UNIT SECTION  
 SCALE: 1" = 1'-0"



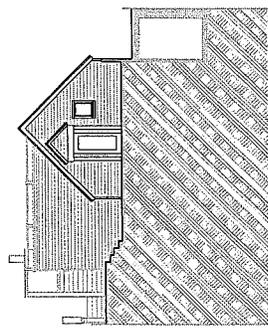
5 TYP. HVAC UNIT ELEVATION  
 SCALE: 1" = 1'-0"



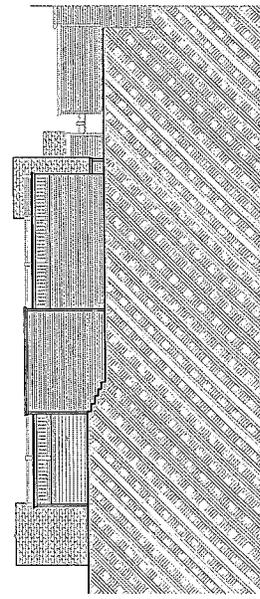
1 NORTH ELEVATION - BLDG 'C'  
 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION - BLDG 'C'  
 SCALE: 1/8" = 1'-0"

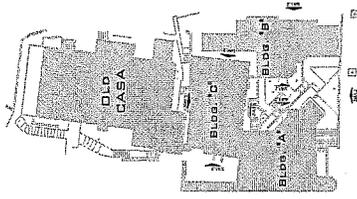


3 SOUTH ELEVATION - BLDG 'C'  
 SCALE: 1/8" = 1'-0"



4 WEST ELEVATION - BLDG 'C'  
 SCALE: 1/8" = 1'-0"

KEY PLAN



KEY NOTES  
 1. ALL DIMENSIONS UNLESS OTHERWISE NOTED  
 2. SEE ARCHITECT'S NOTES FOR MATERIALS AND FINISHES  
 3. SEE ARCHITECT'S NOTES FOR CONSTRUCTION METHODS  
 4. SEE ARCHITECT'S NOTES FOR SPECIFICATIONS

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CITY OF SAUSALITO  
 COMMUNITY DEVELOPMENT DEPT



**Casa  
Madrona**  
Hotel Renovation  
801 BRIDGEWAY  
SAUSALITO, CA 94965

OWNER: CASA  
MADRONA  
1000 WEST BROADWAY  
Sausalito, CA 94965  
PH: (415) 224-4166  
FX: (415) 224-4166

ARCHITECT:  
LARRY BARNES ARCHITECTS  
1000 WEST BROADWAY  
Sausalito, CA 94965  
PH: (415) 224-4166  
FX: (415) 224-4166



Rev. Description Date  
1. REVISIONS: 11/10/11  
2. REVISIONS: 11/10/11  
DATE SCALE

SEA PROJECT NUMBER:  
SITE:  
FLOOR PLAN  
VILLA MADRONA  
**A2.0C**

**NOTES**

- ROOF STRUCTURE TO BE REINFORCED FOR ADDED LOAD OF PLANTERS AT ROOF TERRACE ABOVE.
- BATHROOMS TO BE RELOCATED AND RENOVATED TO MATCH EXISTING BATHROOMS.
- BATHROOMS WHERE THE CURRENT CONFIGURATION PROVIDES ONLY NON-ACCESSIBLE.
- REMOVE EXISTING BATHROOM PROJECTIONS AND RELOCATE TO MATCH EXISTING BATHROOMS.
- REPLACE PORTION OF SOLID GUARDRAIL WITH CLEAR GLASS GUARDRAILS. GLASS TO BE 3/4" TAPERED AND COMPLY WITH CBC SECTION 097.116-4.
- RELOCATE EXISTING STAIRS TO MATCH EXISTING STAIRS.
- EXTERIOR WOOD JOINRY AND TRIM TO BE REPAIRED OR REPLACED AS REQUIRED. PAINT TO MATCH EXISTING.

**FLOOR AREA CALCULATIONS**

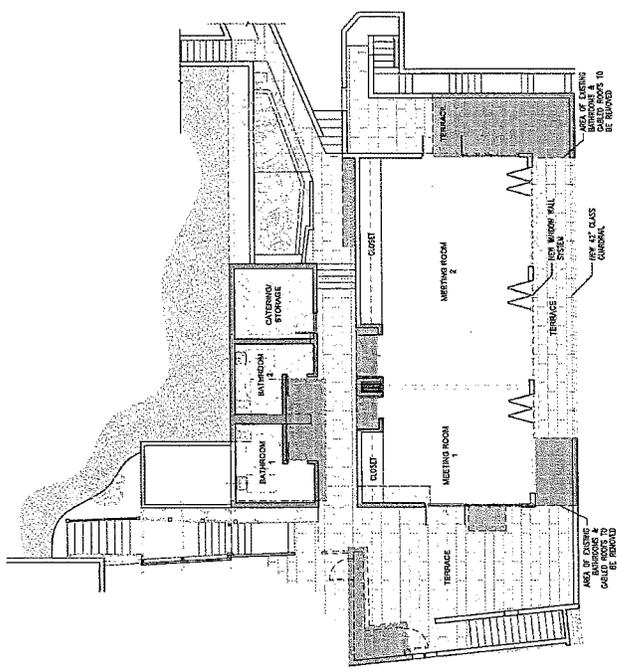
1. EXISTING MEETING ROOMS STORAGE	1,487
207	
TOTAL EXISTING	1,694 sq ft
2. PROPOSED MEETING ROOMS BATHROOMS/CATERING	1,224
375	
TOTAL PROPOSED	1,601 sq ft
CHANGE	-93 sq ft

**BUILDING USE**

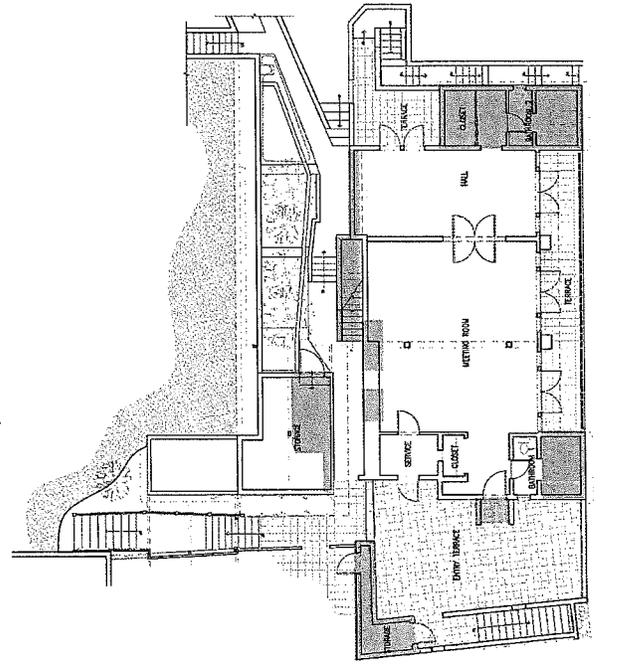
- EXISTING USE AS MEETING ROOMS AND ASSOCIATED STORAGE TO REMAIN.
- BATHROOMS:  
EXISTING: (2) NON-ACCESSIBLE SINGLE OCCUPANCY  
PROPOSED: (2) FULLY ACCESSIBLE SINGLE OCCUPANCY

**LEGEND**

- NEW AREA
- NEW or RECONSTRUCTED WALL
- DEMOLITION



**2 PROPOSED FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**1 EXISTING FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**RECEIVED**

OCT -7 2011

CITY OF SAUSALITO  
COMMUNITY DEVELOPMENT DEPARTMENT

**Casa Madrona**  
Hotel Renovation  
801 BRIDGEWAY  
SAUSALITO, CA 94965

PROJECT OWNER:  
HILTON HOTEL COMPANY  
100 BROADWAY  
NEW YORK, NY 10048  
PH (212) 779-9000

ARCHITECT:  
SYDNEY BARBER ARCHITECTS  
1000 CALIFORNIA STREET  
SAN DIEGO, CA 92103  
PH (619) 294-4183  
WWW.SYDNEYBARBER.COM



DATE: \_\_\_\_\_ SCALE: \_\_\_\_\_  
DATE: \_\_\_\_\_ SCALE: \_\_\_\_\_  
DATE: \_\_\_\_\_ SCALE: \_\_\_\_\_  
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DATE: \_\_\_\_\_ SCALE: \_\_\_\_\_

DATE: \_\_\_\_\_ SCALE: \_\_\_\_\_

DATE: \_\_\_\_\_ SCALE: \_\_\_\_\_

**FLOOR PLAN  
CASA MADRONA  
MANSION  
A2.1**

**GENERAL PRESERVATION NOTES**

1. THESE NOTES APPLY TO THE PORTION OF WORK ON THE NATIONAL REGISTER WILLIAM G. BARRETT HOUSE (aka CASA MADRONA), ONLY.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE RENOVATION ADDITION TO THE CASA MADRONA SHALL BE REHABILITATION PER THE SECRETARY OF INTERIOR STANDARDS.
3. THE ARCHITECT HAS CONDUCTED VISUAL SURVEY OR CHANGING USES WHILE RETAINING THE PROPERTY'S HISTORIC CHARACTER.
4. THE ARCHITECT HAS CONDUCTED VISUAL SURVEY OR CHANGING USES WHILE RETAINING THE PROPERTY'S HISTORIC CHARACTER.
5. REFER TO HISTORIC REPORT FOR ADDITIONAL INFORMATION.

**INTERIOR PRESERVATION NOTES**

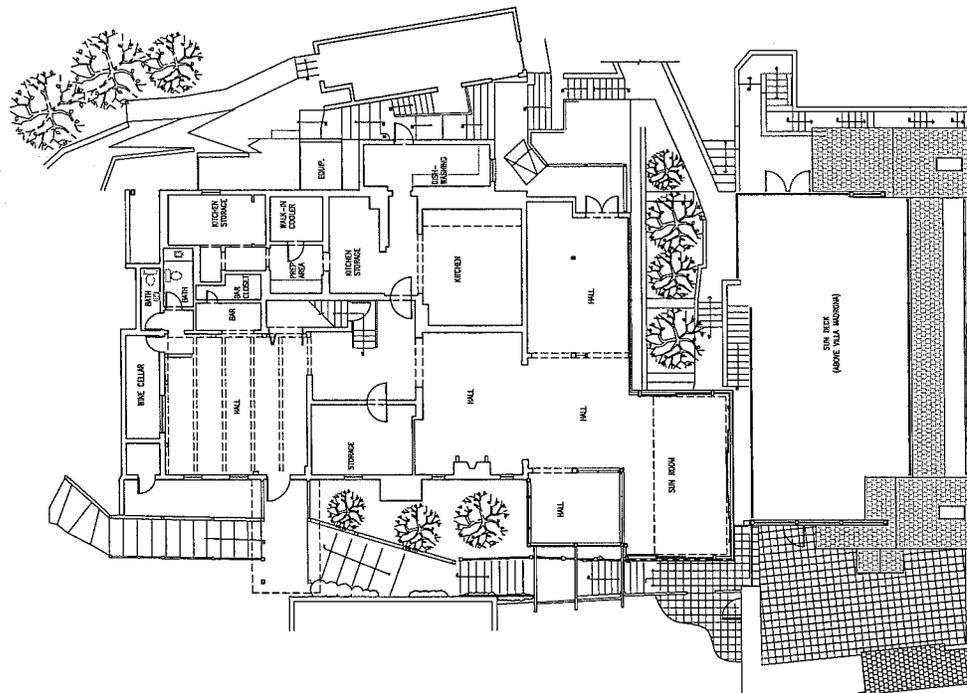
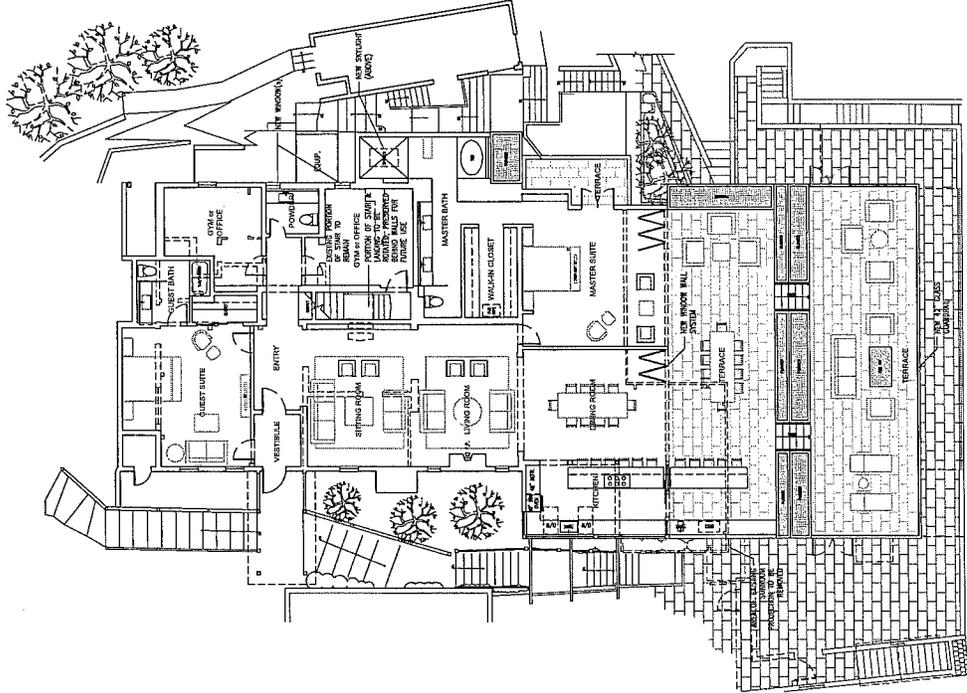
1. REMOVE EXISTING NON-HISTORIC SUSPENDED OR APPLIED CEILING TILES AND RESTORE ORIGINAL PLASTER OR SKIM COAT OVER DRYWALL TO IMITATE PLASTER FINISH.
2. SECOND FLOOR TO BE CLOSED OFF LOWER LANDING AND PORTION OF STAIR TO BE ROTATED AND PROTECTED BY A PERMANENTLY CLOSED OFF HISTORIC BREAKFAST AND ASSOCIATED HEARTH, MANTLE, MIRROR AND SHELVES.
3. RESTORE INTERIOR WALL FINISHES, CARPET, FLOOR FINISHES AND WOOD TRIM WITH MATERIALS COMPATIBLE WITH THE ARCHITECTURAL STYLE OF THE INTERIOR SPACES.

**FLOOR AREA CALCULATIONS**

FIRST FLOOR	
1. EXISTING	3,504 sq ft
2. PROPOSED	3,440 sq ft
	CHANGE -64 sq ft

**BUILDING USE**

1. EXISTING CONFIGURED AS COMMERCIAL KITCHEN, STORAGE, WINE CELLAR, AND HALLS. THERE ARE (2) EXISTING BATHROOMS.
2. PROPOSED THE PROPOSED USE IS FOR (2) GUEST ROOMS, ONE AS A PRESIDENTIAL SUITE WITH KITCHEN/DINING/LIVING ROOM, SITTING ROOM, OFFICE, CLO, MASTER SUITE, BATH, AND WALK-IN CLOSET. THE OTHER GUEST ROOM MAY BE CONNECTED TO THE PRESIDENTIAL SUITE OR LET SEPARATELY. BOTH ARE INTENDED FOR SHORT TERM HOTEL GUESTS.



**2 PROPOSED FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**1 EXISTING FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

OCT 7 2011

RECEIVED

SHIRLEY MARSH ARCHITECTS

CITY OF SAUSALITO  
COMMUNITY DEVELOPMENT DEPARTMENT



DATE: \_\_\_\_\_  
BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
PROJECT NUMBER: \_\_\_\_\_

FLOOR PLAN  
CASA MADRONA  
MANSION  
**A2.1C**

**GENERAL PRESERVATION NOTES**

- THESE NOTES APPLY TO THE PORTION OF WORK ON THE NATIONAL REGISTER WILLIAM G. BARRETT HOUSE AND THE PORTION OF THE WORK ON THE NATIONAL REGISTER RENOVATION/ADDITION TO THE CASA MADRONA SHALL BE REHABILITATION PER THE SECRETARY OF INTERIOR.
- REHABILITATION ACKNOWLEDGES THE NEED TO ALTER OR ADD TO A HISTORIC PROPERTY TO MEET CONTINUING OR CHANGING USES WHILE RETAINING THE PROPERTY'S CHARACTER AND HISTORIC SIGNIFICANCE.
- REHABILITATION SHALL BE IN ACCORDANCE WITH THE TEN REHABILITATION PROVISIONS OF THE STANDARDS FOR THE TREATMENT OF HISTORIC BUILDINGS AND INTO CONSIDERATION ECONOMIC AND TECHNICAL FEASIBILITY.
- REHABILITATION SHALL BE IN ACCORDANCE WITH THE HISTORIC REPORT FOR ADDITIONAL INFORMATION.

**INTERIOR PRESERVATION NOTES**

**FIRST FLOOR:**

- REMOVE EXISTING NON-HISTORIC SUSPENDED OR APPLIED CEILING TILES AND RESTORE ORIGINAL PLASTER CEILING OR SKIM COAT OVER DRYWALL TO SIMULATE HISTORIC STAIR.
- PRESERVE AND PROTECT THE HISTORIC FIREPLACES AND ASSOCIATED HEARTH, MANTLE, MIRRORS AND FINISHES.
- REPLACE INTERIOR WALL FINISHES, CARPET, FLOOR FINISHES, AND WOOD TRIM WITH MATERIALS COMPATIBLE WITH THE ARCHITECTURAL STYLE OF THE INTERIOR SPACES.

**FLOOR AREA CALCULATIONS**

FIRST FLOOR	
1. EXISTING	5,504 sq ft
2. PROPOSED	3,440 sq ft
	CHANGE -444 sq ft

**BUILDING USE**

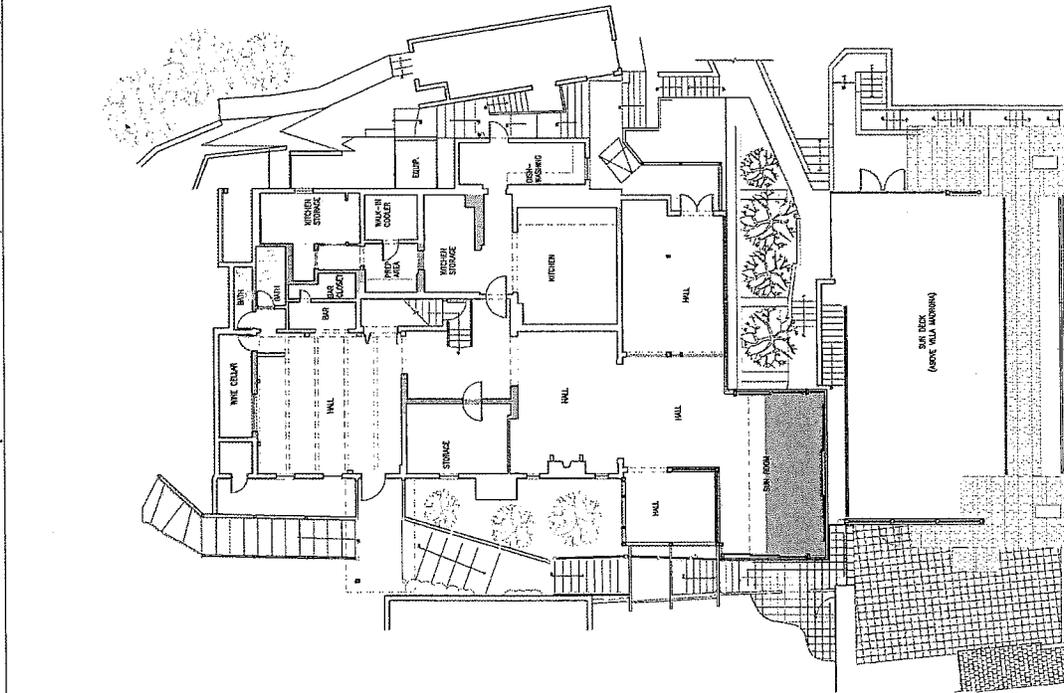
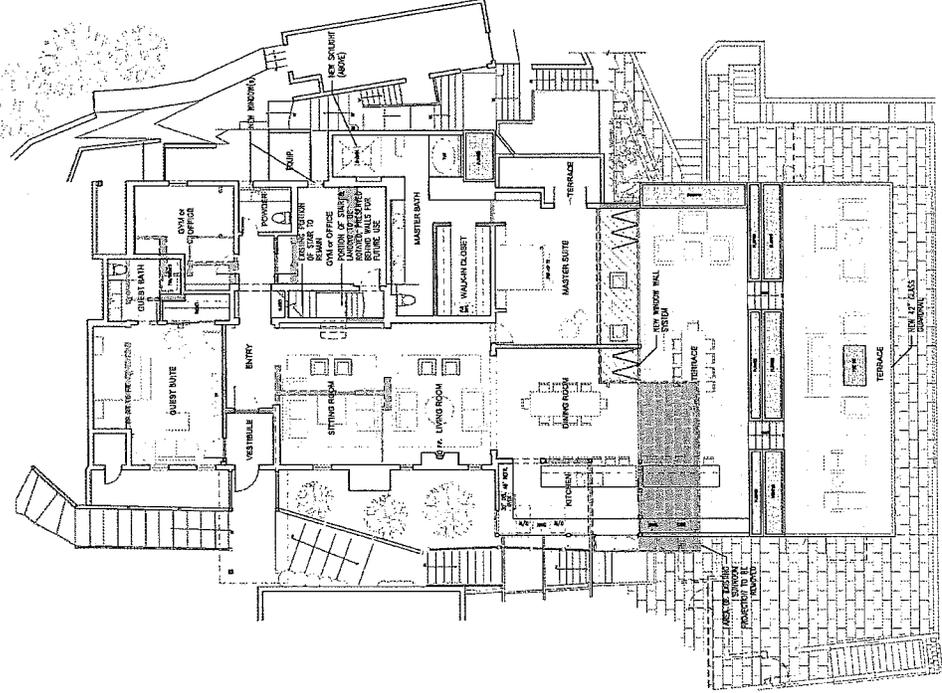
**FIRST FLOOR**

- EXISTING
- PROPOSED

THE PROPOSED USE IS FOR (2) GUEST ROOMS, ONE AS A PRESIDENTIAL SUITE WITH KITCHENETTE/LIVING ROOM, SITTING ROOM, OFFICE, BATH, AND GUEST SUITE. THE PROPOSED USE IS SEPARATELY, BOTH ARE INTENDED FOR SHORT TERM HOTEL GUESTS.

**LEGEND**

- NEW AREA
- NEW or RECONSTRUCTED WALL
- DEMOLITION



2 PROPOSED FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

1 EXISTING FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

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CITY OF SAUSALITO  
COMMUNITY DEVELOPMENT DE









**Casa**

**Madronea**  
 Hotel Renovation  
 897 BRIDGEWAY  
 SAN ANTONIO, CA 78465

PROJECT CHARGE:  
 WYNNE ERMA ESPINALL  
 SAN ANTONIO, CA 78205  
 PH (512) 771-9722

ARCHITECT:  
 WOOD RAINES ARCHITECTS  
 2401 BRIDGEWAY  
 SAN ANTONIO, CA 78205  
 PH (512) 279-6072



DATE: \_\_\_\_\_  
 SCALE: \_\_\_\_\_  
 SHEET NO.: \_\_\_\_\_

**BUILDING ELEVATIONS**  
**A3.2C**

**GENERAL PRESERVATION NOTES**

1. THESE NOTES APPLY TO THE PORTION OF WORK ON THE NATIONAL REGISTER WILLIAM G. BARRETT HOUSE AND THE PORTION OF THE HOUSE TO BE RENOVATED/RECONSTRUCTED IN ADDITION TO THE CASA MADRONA SHALL BE REHABILITATION PER THE SECRETARY OF INTERIOR.
2. THE REHABILITATION WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE NATIONAL HISTORIC REHABILITATION ACT AND THE SECRETARY'S STANDARDS FOR HISTORIC REHABILITATION.
3. THE REHABILITATION WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE NATIONAL HISTORIC REHABILITATION ACT AND THE SECRETARY'S STANDARDS FOR HISTORIC REHABILITATION.
4. THE REHABILITATION WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE NATIONAL HISTORIC REHABILITATION ACT AND THE SECRETARY'S STANDARDS FOR HISTORIC REHABILITATION.
5. REFER TO HISTORIC REPORT FOR ADDITIONAL INFORMATION.

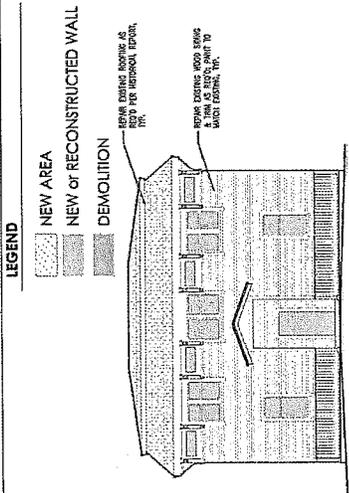
**EXTERIOR PRESERVATION NOTES**

1. FOUNDATION AND EXTERIOR WALLS SHALL BE REHABILITATED TO MATCH EXISTING FOUNDATION ELEMENTS THAT ARE EXISTING.
2. EXTERIOR WALLS SHALL BE REHABILITATED TO MATCH EXISTING FOUNDATION ELEMENTS THAT ARE EXISTING.
3. ROOF SHALL BE REHABILITATED TO MATCH EXISTING FOUNDATION ELEMENTS THAT ARE EXISTING.
4. WINDOWS AND EXTERIOR DOORS SHALL BE REHABILITATED TO MATCH EXISTING FOUNDATION ELEMENTS THAT ARE EXISTING.
5. EXTERIOR DOORS SHALL BE REHABILITATED TO MATCH EXISTING FOUNDATION ELEMENTS THAT ARE EXISTING.

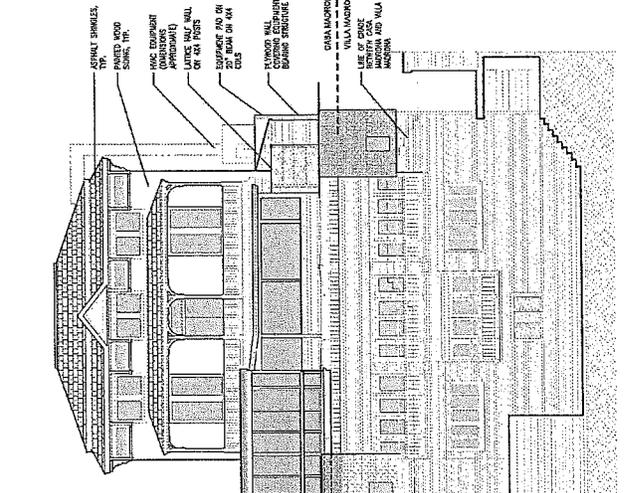
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 SHEET NO.: \_\_\_\_\_

**RECEIVED**  
 OCT - 7 2011

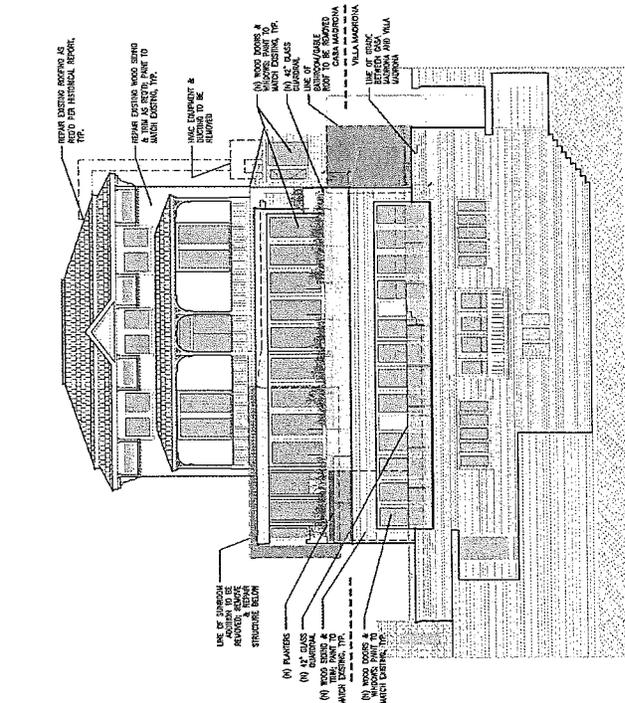
CITY OF SAUSALITO  
 COMMUNITY DEVELOPMENT DEPT



**3 EXISTING/PROPOSED WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**1 EXISTING EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**2 PROPOSED EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**Casa**

**Madrona**  
Hotel Register William G. Barrett House  
801 BRIDGEWAY  
SAUSALITO, CA 94965

PROJECT CHAIR  
WYNNE TERESA KOPPELHAUT  
SAUSALITO, CA 94965  
PH (415) 771-9702

ARCHITECT  
SABRE BARBER ARCHITECTS  
1000 CALIFORNIA STREET  
SAN FRANCISCO, CA 94109  
PH (415) 774-9077



Map Description Date  
1. Rehabilitation, Technology (2/20/21)  
2. Rehabilitation, Technology (2/20/21)  
DATE SCALE  
PROJECT NUMBER  
128

**BUILDING  
ELEVATIONS**

**A3.3C**

**GENERAL PRESERVATION NOTES**

1. THESE NOTES APPLY TO THE PORTION OF WORK ON THE NATIONAL REGISTER WILLIAM G. BARRETT HOUSE 801 BRIDGEWAY, SAUSALITO, CALIFORNIA FOR RENOVATION/ADDITION TO THE CASA MADRONA SHALL BE REHABILITATION FOR THE SECRETARY OF INTERIOR. REHABILITATION ACKNOWLEDGES THE NEED TO ALTER OR ADD TO A HISTORIC PROPERTY TO MEET CONTINUING OR CHANGING USES WHILE RETAINING THE PROPERTY'S HISTORIC CHARACTER.
2. REHABILITATION PROVISIONS OF THE STANDARDS FOR THE TEN REHABILITATION PROVISIONS OF THE STANDARDS FOR HISTORIC REHABILITATION ARE TO BE APPLIED TO SPECIFIC REHABILITATION WORK TO BE PERFORMED TO THE MAXIMUM EXTENT POSSIBLE, CONSIDERING ECONOMIC AND TECHNICAL FEASIBILITY.
3. REFER TO HISTORIC REPORT FOR ADDITIONAL INFORMATION.

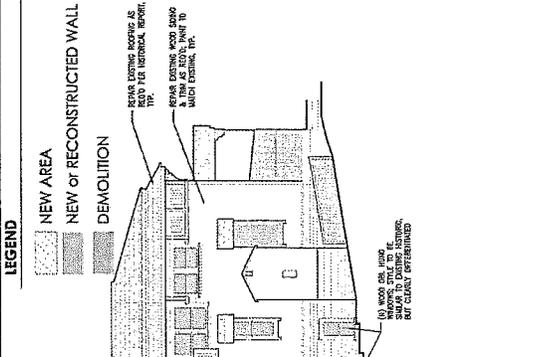
**EXTERIOR PRESERVATION NOTES**

1. FOUNDATION  
NEW FOUNDATION WORK FOR THE PROPOSED RECONSTRUCTION SHALL BE CONSTRUCTED TO MATCH HISTORIC FOUNDATION ELEMENTS THAT ARE EXISTING.
2. EXTERIOR WALLS  
THE EXTERIOR WALLS ARE CONSTRUCTED OF WOOD FRAMING AND THE STRUCTURAL CONNECTIONS BETWEEN WALLS AND FLOORS OR ROOF ARE TO BE MAINTAINED OR RECONSTRUCTED TO DETERMINE THE EXISTING STRUCTURE IS ADEQUATE TO PROVIDE A REASONABLE DEGREE OF LIFE SAFETY.  
REPAIRS TO PROTECT FEATURES INCLUDING THE ORIGINAL WOOD SIDING, WOOD DOUBLE HUNG WINDOWS WITH FLANKING PLASTERS AND PROTRUDING SILLS, ALL DECORATIVE WOOD CARVING, PROJECTING HIP ROOF AND WOOD EAVES.  
REMOVE THE CRACKED AND CHIPPED PAINT FROM THE EXISTING WOOD SIDING, REPAIR ANY CRACKS AND RECONSTRUCT TO MATCH THE ENTIRE EXTERIOR OF THE BUILDING.
3. ROOF  
REMOVE THE EXISTING ROOFING MATERIAL AND REPAIR ANY ROOFING FRAMING OR SHEATHING. PROVIDE AN ASPHALT SHINGLE ROOFING MATERIAL TO MATCH THE CURRENT PATTERN OR ASPHALT SHINGLE ROOFING MATERIAL TO MATCH THE ORIGINAL WOOD SHINGLES.  
MAINTAIN THE FIRE SCALE PATTERN WOOD SHINGLES AS NOT ORIGINAL AND MAY NEED TO BE REPLACED DUE TO AGE AND CONDITION.  
REPAIR OR REPLACE THE ROOFING MATERIALS OVER WOOD SHINGLES IF ALLOWED BY THE CITY OR ASPHALT SHINGLES IN A DARK BROWN COLOR COULD BE AN ALTERNATE MATERIAL TO MIMIC THE ORIGINAL WOOD SHINGLES.  
PROVIDE A NEW FLAT ROOF MATERIAL FOR THE ADDITION AT THE LOWER LEVEL AT THE REAR OF THE BUILDING.
4. WINDOWS  
RESTORE AND PROTECT EXISTING HISTORIC WOOD WINDOWS, REMOVE LOOSE AND FLAKY PAINT, CLEAN AND RESTORE EXISTING HISTORIC WINDOW HARDWARE TO ENSURE GOOD WORKING CONDITION.
5. EXTERIOR DOORS  
RESTORE AND PROTECT EXISTING WOOD DOORS, REMOVE LOOSE AND FLAKY PAINT, CLEAN AND RESTORE EXISTING DOOR HARDWARE TO ENSURE GOOD WORKING CONDITION.  
TRANSLATION ABOVE THE DOOR AT THE LOWER LEVEL NORTHEAST CORNER.
6. CHIMNEYS  
REPAIR AND PROTECT EXISTING HISTORIC CHIMNEYS. NO IMMEDIATE WORK IS REQUIRED. THE STRUCTURAL EVALUATION TO REVIEW THE EXISTING CONDITION OF THE CHIMNEY AND PROVIDE ANY STRUCTURAL MODIFICATIONS, IF REQUIRED.

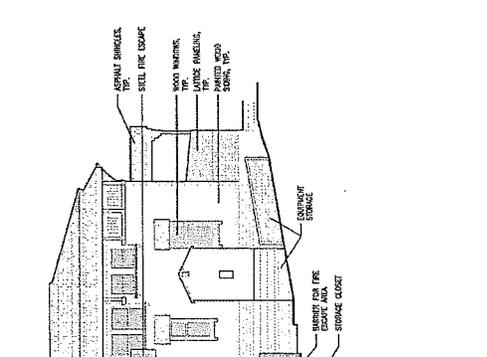
**RECEIVED**

OCT - 7 2021

CITY OF SAUSALITO  
PLANNING DEPARTMENT



**2 PROPOSED NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**1 EXISTING NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

**Casa  
Madrona**  
Hotel Renovation  
881 BRIDGEWAY  
SAUSALITO, CA 94965

PROPERTY OWNER:  
ARTIST TERRA CONTRACTORS  
SAN BRUNO, CA 94068  
PH (415) 752-7022

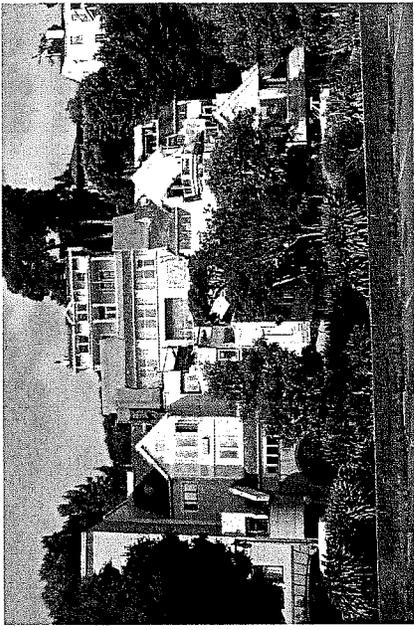
ARCHITECT:  
DAVE BURNS ARCHITECTS  
1000 CALIFORNIA STREET  
SAN BRUNO, CA 94068  
PH (415) 296-4072



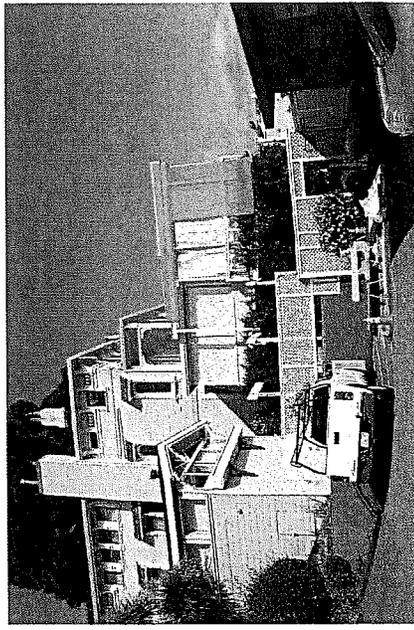
Date: \_\_\_\_\_  
Description: \_\_\_\_\_  
J. BURNS, ARCHITECT, LICENSE NO. 12512  
L. BURNS, ARCHITECT, LICENSE NO. 12512  
DATE: \_\_\_\_\_ SCALE: \_\_\_\_\_  
PWA PROJECT NUMBER: \_\_\_\_\_  
12/1

BUILDING  
PHOTOS

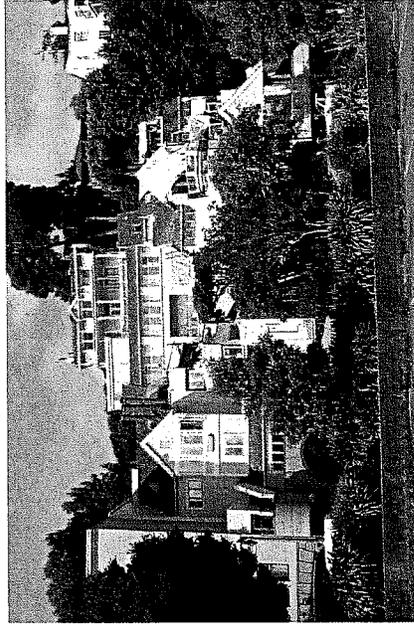
**A4.1**



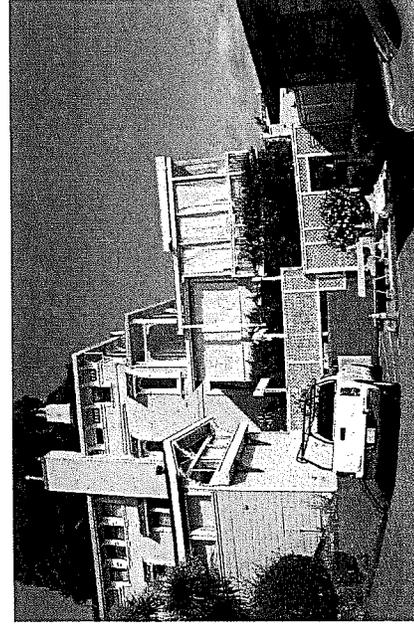
4 PROPOSED MASSING  
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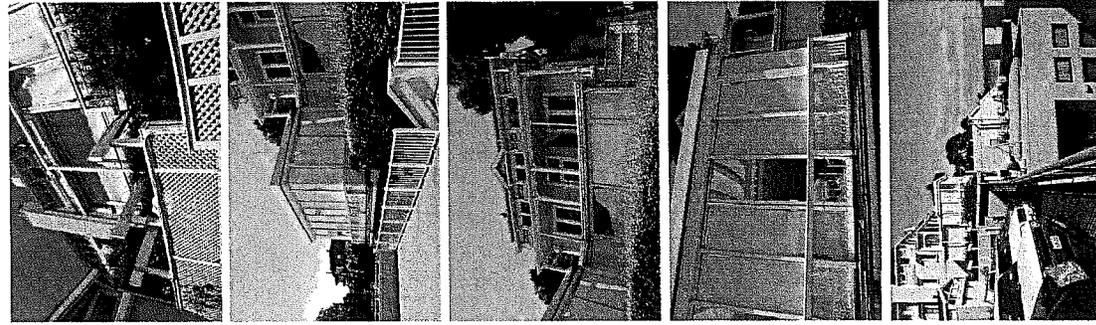
2 PROPOSED MASSING  
NO SCALE



3 EXISTING PHOTO  
NO SCALE



1 EXISTING PHOTO  
NO SCALE



6 SITE PHOTOS  
NO SCALE

LEGEND  
  
**RECEIVED**

OCT -7 2011

CITY OF SAUSALITO  
ADMINISTRATIVE SERVICES CENTER

## Conditions of Approval - DRAFT

*These conditions of approval apply to the plans prepared by Safdie Rabines Architects, entitled "Casa Madrona Hotel – Hotel Renovation" date-stamped received October 7, 2011.*

### General Conditions

1. The proposed project shall adhere to all Historic Treatment Recommendations stated in the William G. Barrett House Historic Evaluation performed by Heritage Architecture and Planning, date-stamped received October 7, 2011.
2. Upon building permit submittal the Conditions of Approval shall be shown on all construction drawings.
3. Upon building permit submittal the applicant shall provide a written response demonstrating compliance with each Condition of Approval.
4. No alternative or unrelated construction, site improvements, tree removal and/or alteration, exterior alterations and/or interior alterations and/or renovations not specified in the project plans, or alterations approved by the Community Development Director, shall be performed on the project site. In such cases, this approval shall be rendered null and void unless approved by the Community Development Director as a modification to this approval.
5. In the event that any condition imposing a fee, exaction, dedication or other mitigation measure is challenged by the project sponsors in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal or final resolution of such action. If any condition is invalidated by a court of law, the entire project shall be reviewed by the City and substitute conditions may be imposed.
6. The applicant shall indemnify the City for any and all costs, including without limitation attorneys' fees, in defending this project or any portion of this project and shall reimburse the City for any costs incurred by the City's defense of the approval of the project.

### Prior to the Issuance of a Building Permit

7. The applicant shall submit revised plans for the awning which provide at least eight feet of vertical clearance between the awning structure and the ground over the walkway.

### Advisory Notes

Advisory notes are provided to inform the applicant of Sausalito Municipal Code requirements, and requirements imposed by other agencies. These requirements include, but are not limited to, the items listed below.

1. This approval will expire in two (2) years from the effective date of this resolution if the property owner has not exercised the entitlements hereby granted, or an extension has not been filed prior to the expiration date.
2. An approval granted by the Planning Commission does not constitute a building permit or authorization for construction. Appropriate construction permit(s) issued by the Building Division must be obtained prior to construction.

Exhibit D  
[2 pages]

3. All applicable City fees as established by City Council resolutions and ordinances shall be paid. Third party review fees (cost plus 10%) shall be paid.
4. Pursuant to Municipal Code Chapter 3.36, Construction Traffic Road Fees shall be paid prior to issuance of a building permit.
5. An encroachment permit shall be obtained from the Department of Public Works prior to use of the public right-of-way for non-public purposes (e.g., materials storage, debris box storage) including any and all construction and demolition activities.
6. Pursuant to Municipal Code Chapter 8.54, applicants shall submit a Recycling Management Plan to the Community Development Department prior to the issuance of any construction permits, unless the requirement is waived pursuant to Section 8.54.050.
7. Pursuant to Municipal Code Chapter 11.17, dumping of residues from washing of painting tools, concrete trucks and pumps, rock, sand, dirt, agricultural waste, or any other materials discharged into the City storm drain system that is not composed entirely of storm water is prohibited. Liability for any such discharge shall be the responsibility of person(s) causing or responsible for the discharge. Violations constitute a misdemeanor in accordance with Section 11.17.060.B.
8. Pursuant to Municipal Code Section 12.16.140, the operation of construction, demolition, excavation, alteration, or repair devices and equipment within all residential zones and areas within a 500 foot radius of residential zones shall only take place during the following hours:  
Weekdays – Between 8:00 a.m. and 6:00 p.m.  
Saturdays – Between 9:00 a.m. and 5:00 p.m.  
Sundays – Prohibited  
City holidays (not including Sundays) – Between 9:00 a.m. and 7:00 p.m.

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